

UNIFIED LAND USE CODE

City Council Study Session
06.02.20



Policy Question #1

Should we or should we not permit a single-use residential product on Main Street?

Single-use residential means a residential structure that is not mixed-use. For example, an apartment building without retail on the first floor.



Policy Question #2



Do you agree that buildings on Main Street have a two-story building wall and permit a third story stepped back from the street?

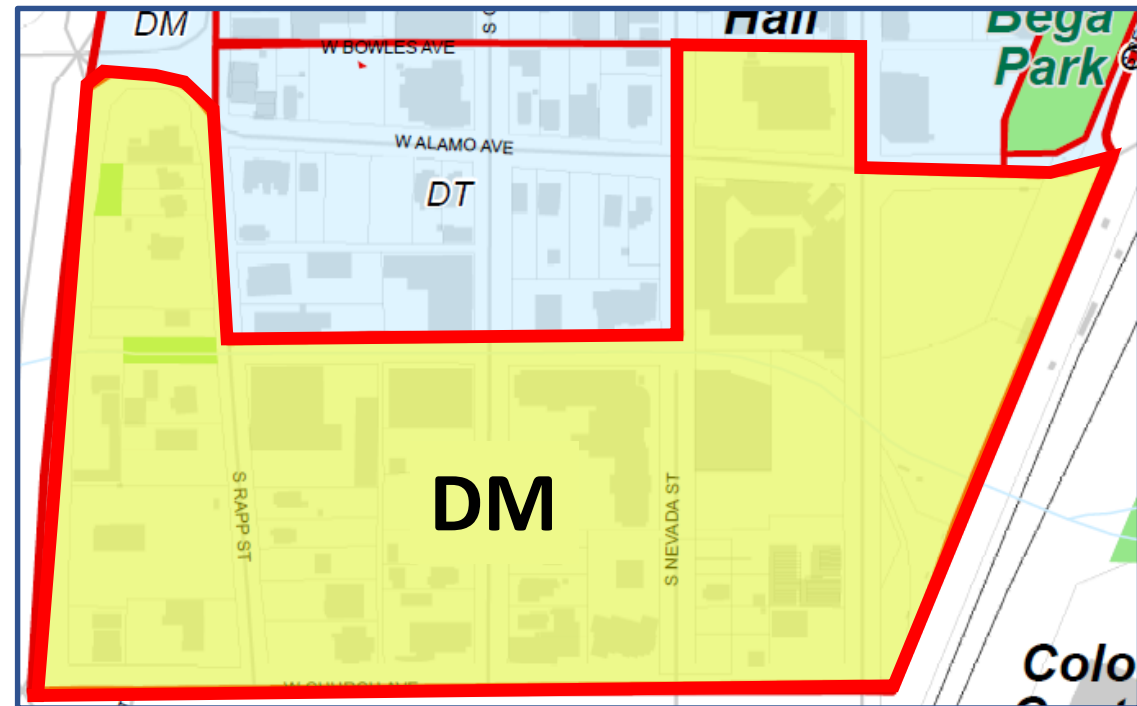
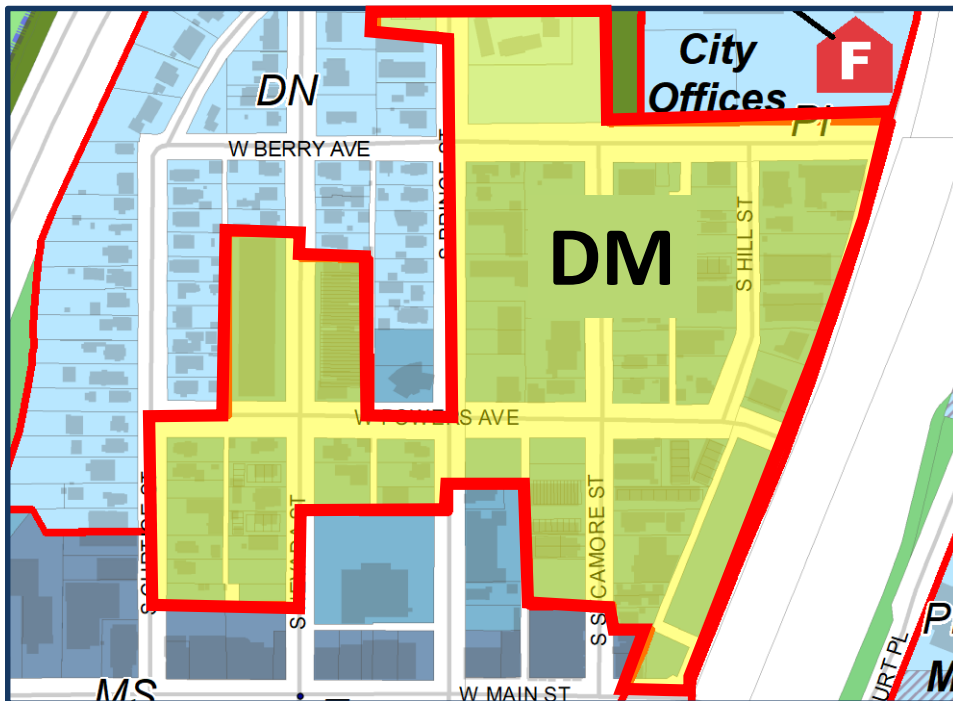
Policy Question #3

Do you agree that four-story buildings are appropriate in the Downtown Mixed Use Character Area provided third and fourth story step backs and step-downs when adjacent to a sensitive edge, e.g., two-story building?



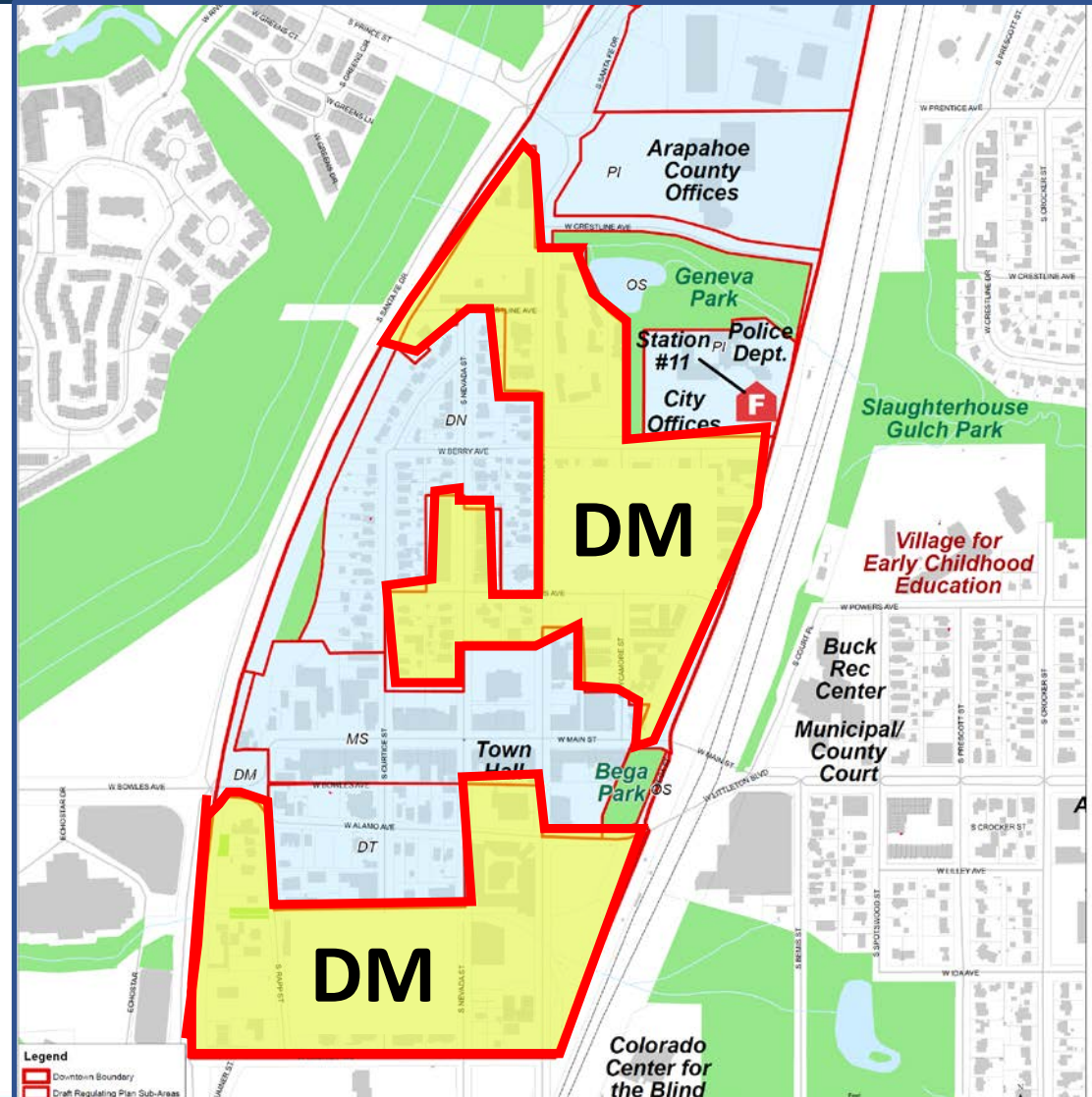
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Policy Question #3

Do you agree that four-story buildings are appropriate in the Downtown Mixed Use (DM) Character Area provided third and fourth story step backs and step-downs when adjacent to a sensitive edge, e.g., two-story building?



Policy Question #4



May a five-story building type be available by conditional approval of the Council provided considerations of design, location only in the Downtown Mixed Use area, economic viability, and fiscal impact?

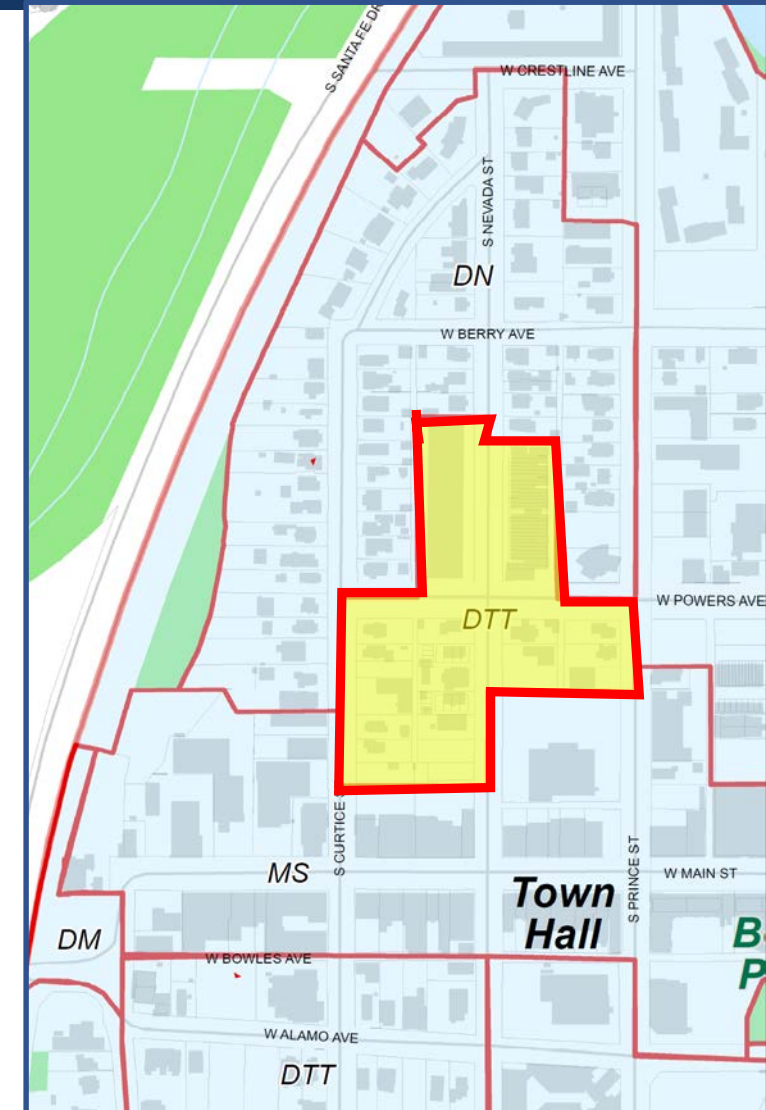
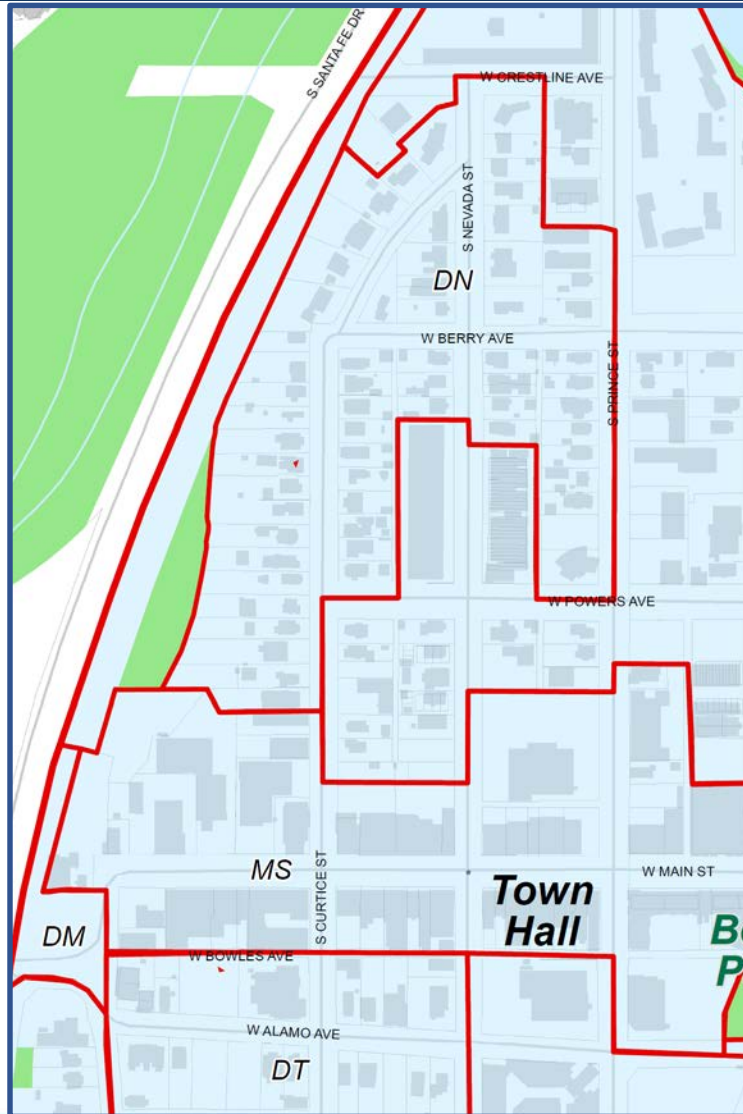
Policy Question #5

Should the area north of Main Street between Curtice and Nevada become Downtown Transition instead of Downtown Mixed Use?



Policy Question #5

Should the area north of Main Street between Curtice and Nevada become Downtown Transition instead of Downtown Mixed Use?



Policy Question #6

Do you agree with the use and percentages of sloped roof forms in the Downtown Neighborhood and Downtown Transition Character Areas?



- 1 Building Footprint = 1254 sqft.
Slope Roof Covering = 1254 sqft.
Percentage of Slope Roof = 100%
- 2 Building Footprint = 5915 sqft.
Slope Roof Covering = 2757 sqft.
Percentage of Slope Roof = 47%
- 3 Building Footprint = 3746 sqft.
Slope Roof Covering = 3186 sqft.
Percentage of Slope Roof = 85%

Policy Question #6

Roof Form Requirement:

Minimum sloping roof form (hip or gable) percentage of top most floor

Apartment Building

- DN: NA
- DM: NA
- MS: NA
- DT: 25%

Townhome Building

- DN: 25%
- DM: 25%
- MS: NA
- DT: 25%

Multiplex Building

- DN: 50%
- DM: NA
- MS: NA
- DT: 25%

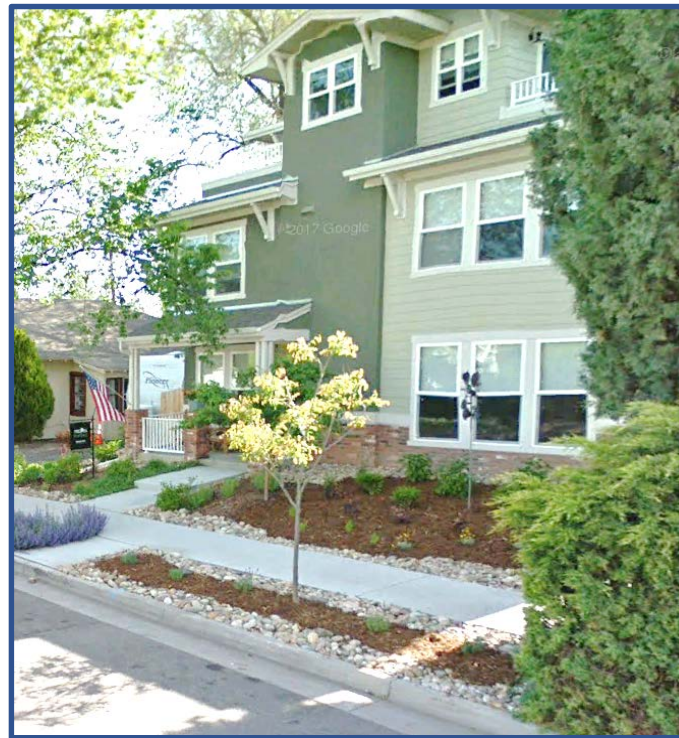
Policy Question #7

Does “open space” in Downtown mean:

- Pervious yards in the Downtown Neighborhood and in the Downtown Transition Areas?



2500 block of W. Alamo Ave.



5500 block of S. Nevada St.

Policy Question #7

Does “open space” in Downtown mean:

- Tree and shrub plantings in the streetscapes in the Downtown Transition and Mixed Use Areas?



2600 block of W. Alamo Ave.



5500 block of S. Sycamore St.

Policy Question #7

Does “open space” in Downtown mean:

- Tree wells in the Main Street and Mixed Use Character Areas where there is a narrow build-to line?



5600 block of S Curtice St.



2300 block of Main St.

Policy Question #7

Does “open space” in Downtown mean:

- Public or privately-owned hardscaped amenity areas like plazas and outdoor covered or uncovered gathering areas (Y/N)

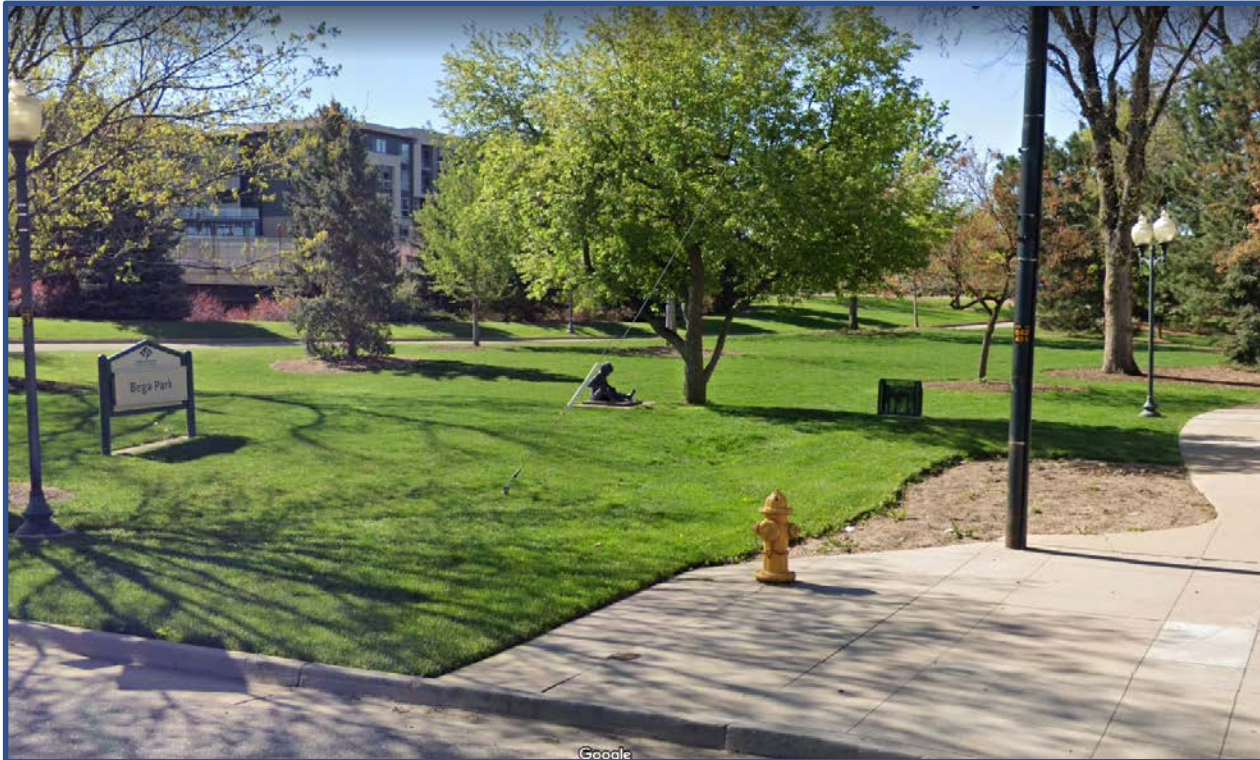


S Rapp Street

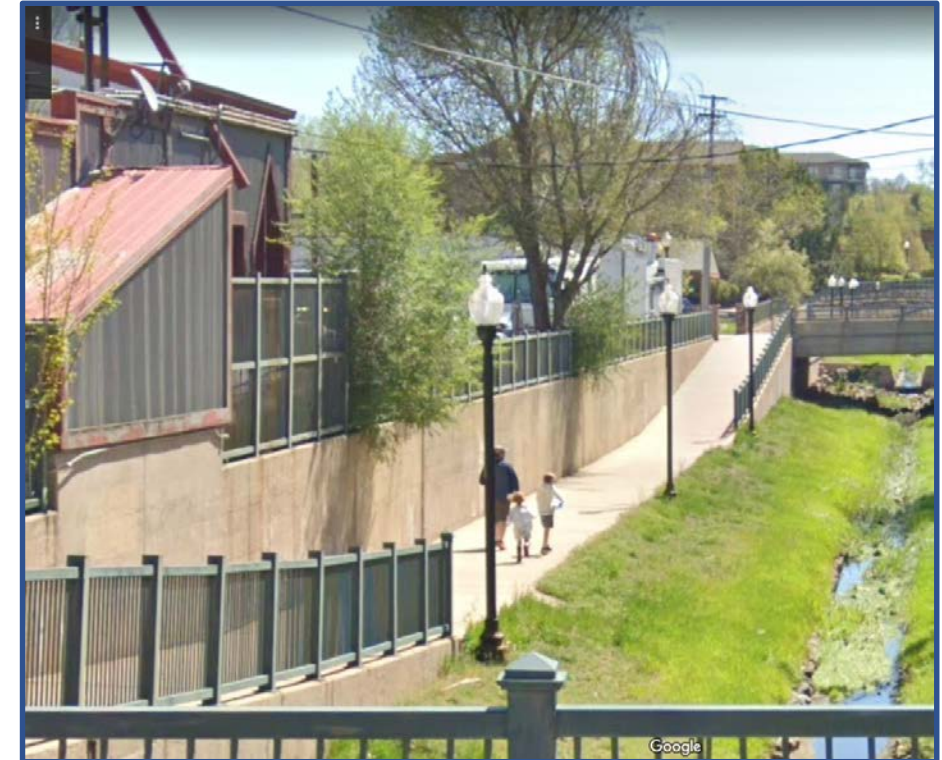
Policy Question #7

Does “open space” in Downtown mean:

- Public parks and greenways (Y/N)



Bega Park, Main Street

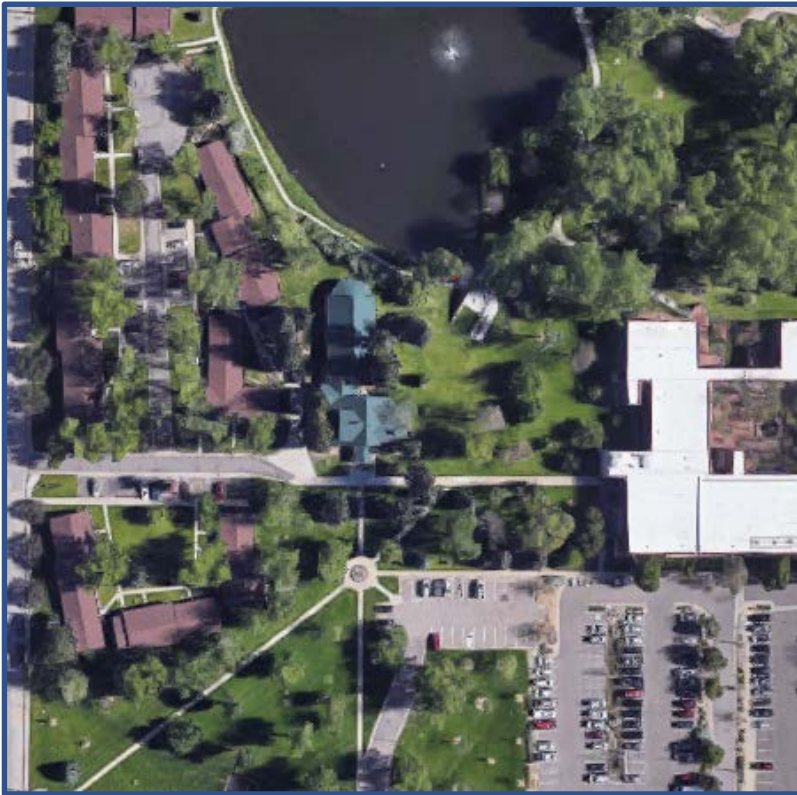


Littles Creek Trail

Policy Question #7

Does “open space” in Downtown mean:

- Preservation of and addition to the urban tree canopy (Y/N)



Geneva Park



Downtown Neighborhood Character Area

Policy Question #7

Does “open space” in Downtown mean:

- Rooftop gardens (Y/N)



Outside Denver Area

Policy Question #7

Does “open space” in Downtown mean:

- Green roofs (Y/N)



Region 8 Green Office Building, Denver

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