

project data

ZONING SUMMARY
EXISTING LOT = .28 ACRES
ZONING DISTRICT = CA

CODE SUMMARY
2012 IRC

PROJECT DESCRIPTION:
2 (2) RESIDENCE DUPLEXES PLANNED.

ZONING:

CA

sheet index

A1.1 COVER SHEET
A1.2 SITEPLAN
A1.5 ELEVATIONS

planned development overlay

REDUCE FRONT SETBACK REQUIREMENT FROM 18.5' TO 9'

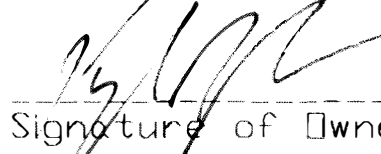
legal descriptions

5556 SO. SYCAMORE:
LOT 16 EXCEPT THE EAST 6 FEET FOR ALLEY, BLOCK 26,
STATE ADDITION TO LITTLETON, CITY OF LITTLETON,
COUNTY OF ARAPAHOE, STATE OF COLORADO

5546 SO. SYCAMORE:
LOT 15 EXCEPT THE EAST 6 FEET FOR ALLEY, BLOCK 26,
STATE ADDITION TO LITTLETON, CITY OF LITTLETON,
COUNTY OF ARAPAHOE, STATE OF COLORADO

signature and certification blocks

I, ~~Kyle D. Pearson~~ Owner, or designated agent thereof, do hereby agree that the above described property will be developed as a Planned Development Overlay (PDO) in accordance with the uses, restrictions and conditions contained in this plan. Further, the City of Littleton is hereby granted permission to enter onto said property for the purposes of conducting inspections to establish compliance of the development of the property with on-site improvements including but not limited to landscaping, drainage facilities, parking areas and trash enclosures. If upon inspection, the City finds deficiencies in the on-site improvements and, after proper notice, the developer shall take appropriate corrective action. Failure to take such corrective action specified by the City shall be grounds for the City to apply any or all or any required financial assurance to cause the deficiencies to be brought into compliance with the PDO Plan, or with any subsequent amendments hereto.


Signature of Owner or Agent

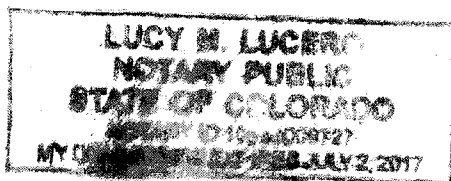
Subscribed and sworn to before me 4th day of October, 2016.

Witness my hand and official seal.
My commission expires July 2, 2017

Notary Public Lucy M. Lucero

City Attorney Approval:
APPROVED AS TO FORM:

City Attorney 



owner

VENTURE REAL ESTATE, LLC
DAN PEARSON
BROOK PFIFFER
1490 W. CANAL CT., #3000
LITTLETON, CO 80120
303-738-7373

architect

JPB ARCHITECTS
1353 Solitude Ln.
Suite M-120
Evergreen, CO 80439
JUDITH BRUNKO, ARCHITECT
email: judy@jpbarchitects.com

SURVEYOR

COLORADO ILC SERVICES
PO BOX 181551
DENVER, CO

structural consultant

HENDERSON ENGINEERING
13485 N Travois Trl, Parker, CO
80138 (303) 303-841-0983

CIVIL ENGINEER CONSULT.

INNOVATIVE STRUCTURAL
SERVICES
DARREN DOWELL, P.E.
303-359-4678

FOR REFERENCE ONLY: Original 2016 PDO Plan Set

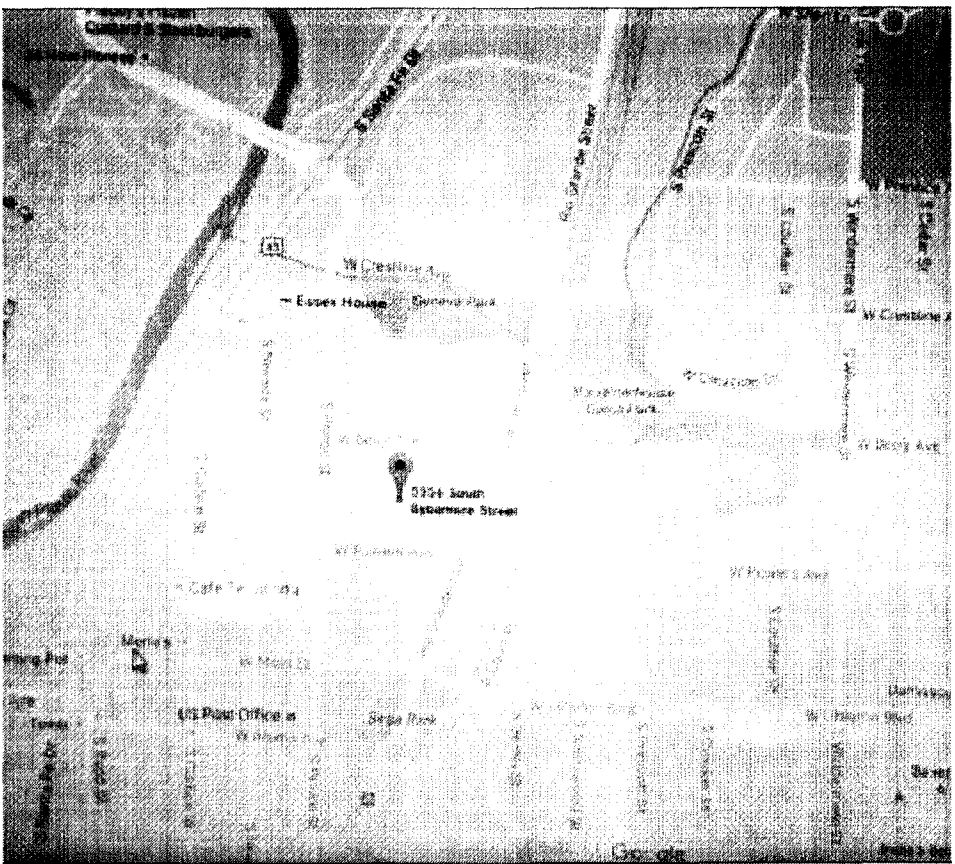
5556 AND 5546 SOUTH SYCAMORE ST.
PLANNED DEVELOPMENT OVERLAY

CASE NO. PD016-0001

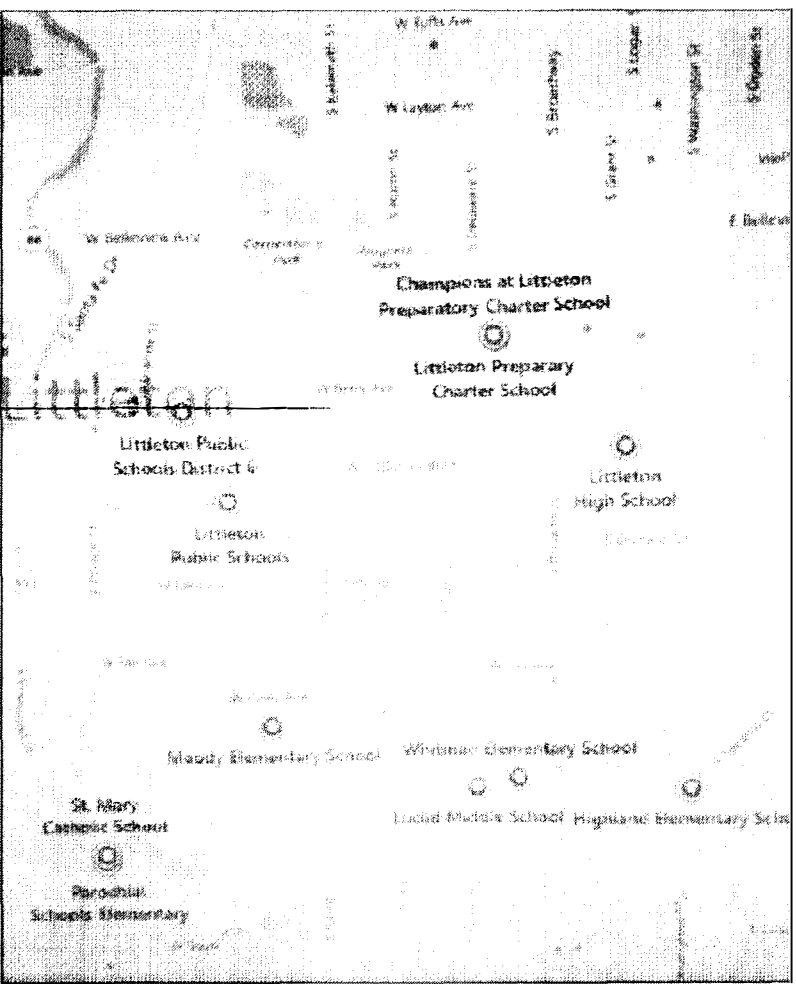
POLICE DEPT.
FIRE DEPT.



VICINITY MAP



STREET MAP



SCHOOL MAP

BUILDING/SITE DATA

CA 5546 & 5556 SO. SYCAMORE ST., EACH LOT:
LOT SIZE: 5,950 S.F.
BUILDING FOOTPRINT: 3,330 S.F.
OPEN SPACE REQUIRED: 595 S.F.
OPEN SPACE UNOBTAINED: 2,617 S.F.
DRIVEWAYS & SIDEWALKS: 220 S.F.
PATIO: 173 S.F.
TOTAL IMPERVIOUS AREA: 2,224 S.F. (63%)

PLANNING BOARD APPROVAL:

Approved this 7th day of October, 2016,
by the Littleton City Planning Board.



Planning Board Chair

ATTEST:



Planning Board Secretary

RECORDING CERTIFICATION:

This document was filed for records in the office of the County Clerk and Recorder of Arapahoe County at 11:34 A.M., on the day of A.D. 2016, in Book 493, Page 2-4, Map _____, Reception Number 0115601



County Clerk and Recorder

By:



Deputy

MINERAL ESTATE CERTIFICATION:

The name and address of the owners of subsurface mineral estates, including mineral lessees, if any, shall be included in the application materials and one of the following certifications, as appropriate, shall be included on the planned development overlay.

I hereby certify that notice of the initial public hearing on this application was mailed to the last known address of the owner or lessees of mineral estate as shown in the real estate records of ARAPAHOE COUNTY county or counties as required by C.R.S. 24-65.5-103.


Signature of owner/and/or agent.



ARCHITECTS

Judith Brunko Architect

ph 303.917.3927
fx 303.670.1144

1353 Solitude Ln.
Suite M-120
Evergreen, Co 80439

SYCAMORE DUPLEXES
5546 & 5556 SO. SYCAMORE ST.
LITTLETON, CO

PDO

REVISIONS

COVER SHEET

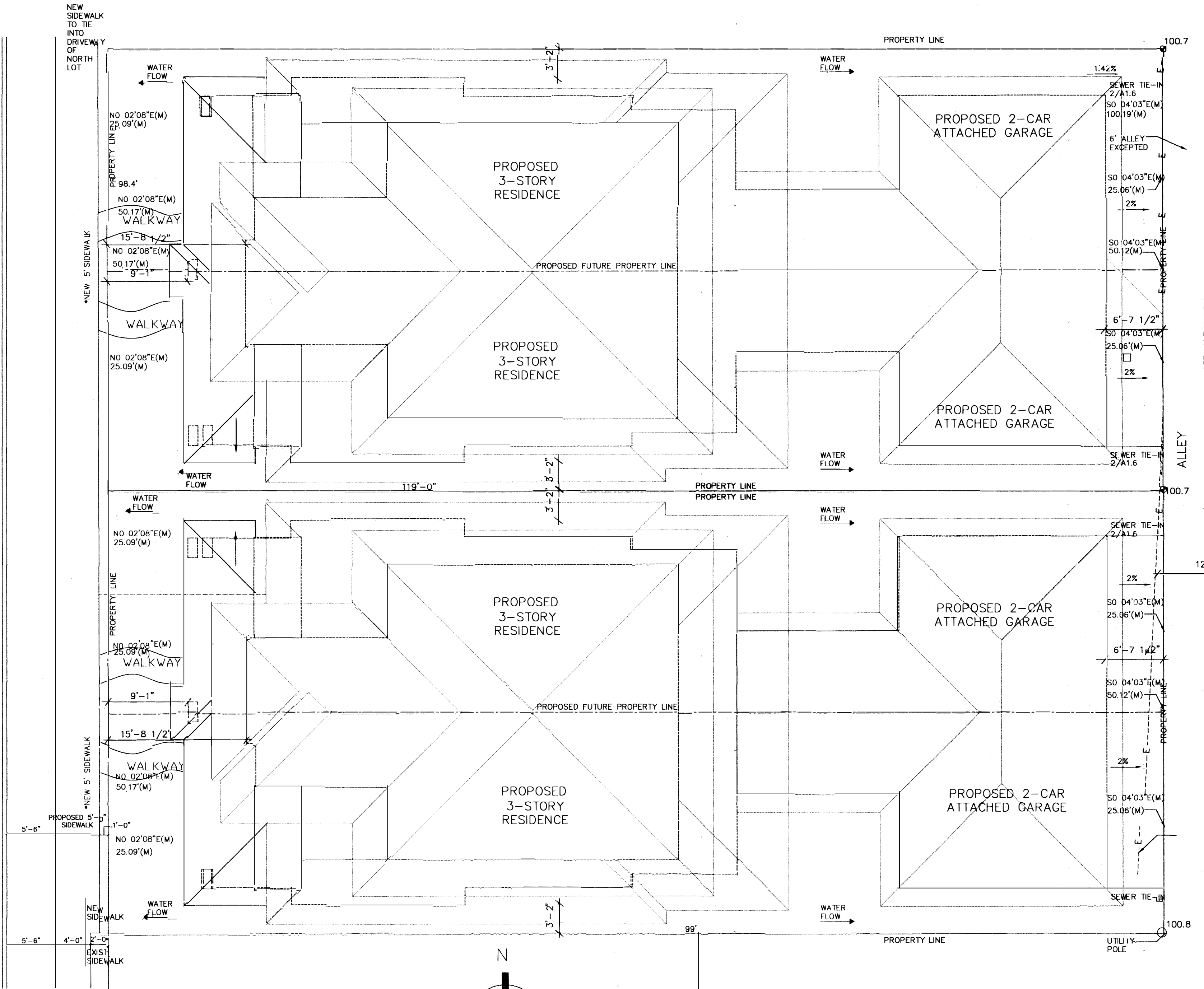
6.21.2016

A1.1

PLANNED DEVELOPMENT OVERLAY
SITE DEVELOPMENT PLAN
SYCAMORE STREET DUPLEXES
5556 AND 5546 SOUTH SYCAMORE ST.
CASE # PD016-0001



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Judith Brunko Architect
ph 303.917.3927
fx 303.670.1144
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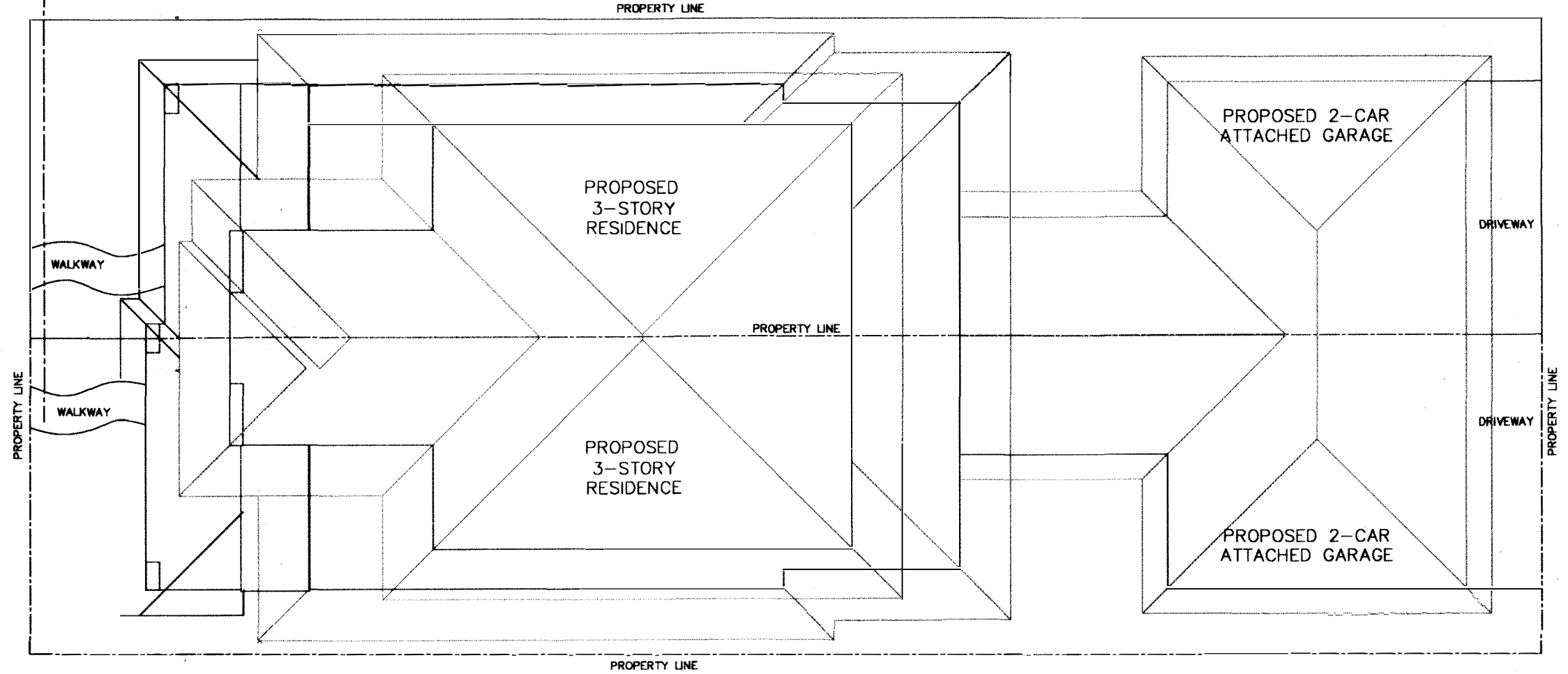


ASPHALT ALLEY

SOUTH SYCAMORE ST.

MEAN SETBACK = 18.5' NTS

NEIGHBORING PROPERTY FRONT SETBACKS



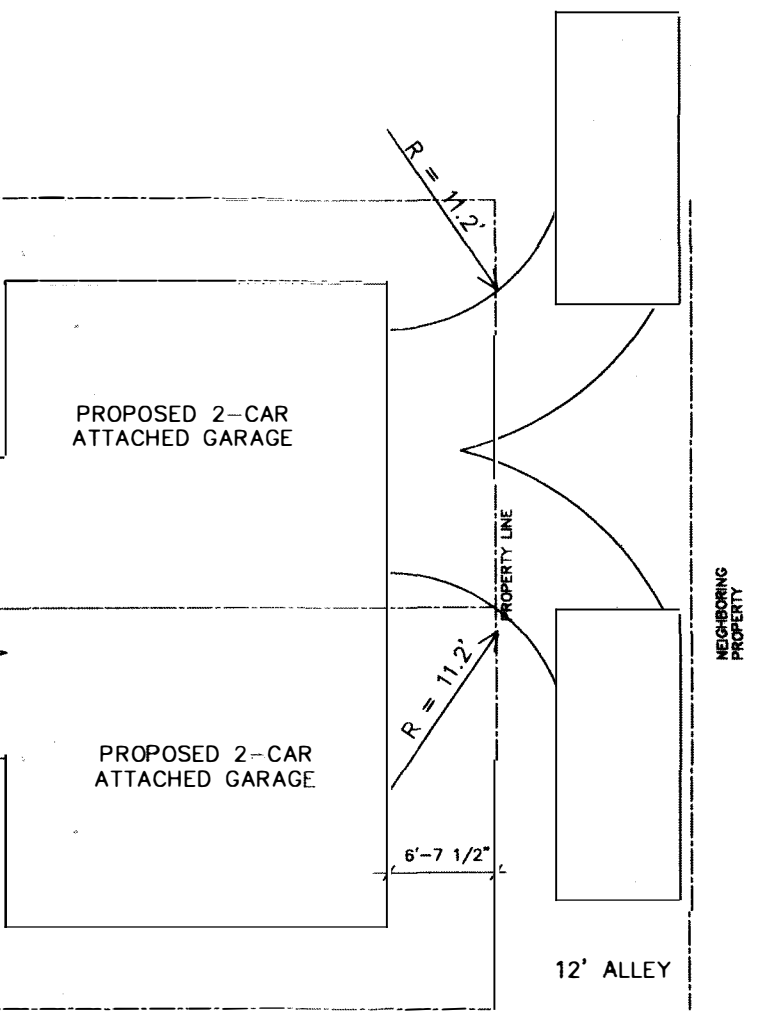
[Symbol] = OPEN SPACE
NTS

SITE PLAN
CITY OF LITTLETON, STATE OF COLORADO

*NEW SIDEWALK: PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY, THE CURB, GUTTER, SIDEWALK, WHEELCHAIR RAMPS, ADJACENT TO THIS PROPERTY WILL BE CLEANED BY CONTRACTOR FOR INSPECTION BY THE LITTLETON ENGINEERING DIVISION. ANY NEWLY DAMAGED OR DISPLACED CONCRETE AREAS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AS DIRECTED BY THE LITTLETON ENGINEERING INSPECTOR PRIOR TO APPROVAL OF C.O.

BUILDING/SITE DATA

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PATIO: 173 S.F.
TOTAL IMPERVIOUS AREA: 2,224 S.F. (6.3%)



5556 SO. SYCAMORE ST.
LITTLETON, CO



SYCAMORE DUPLEXES
5546 & 5556 SO. SYCAMORE ST.
LITTLETON, CO

SDP

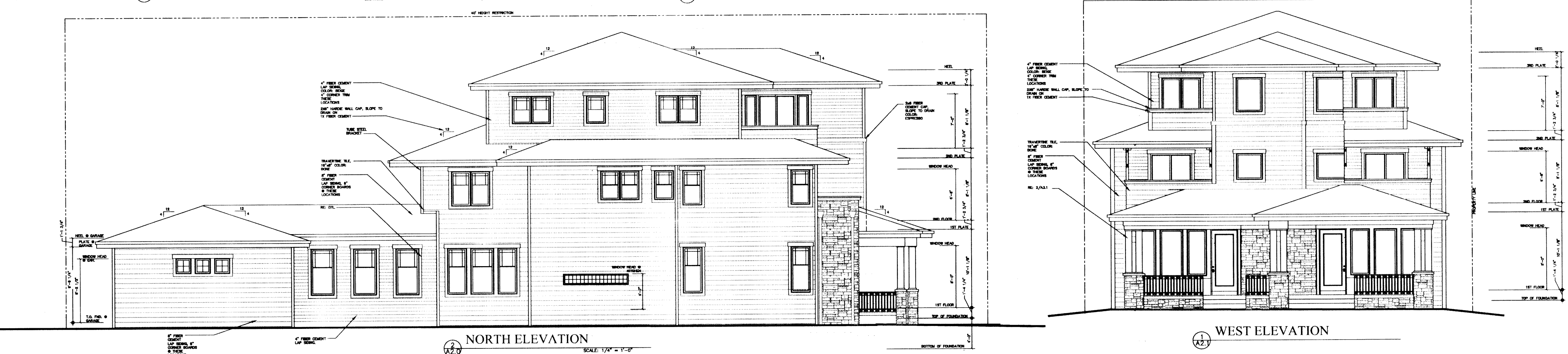
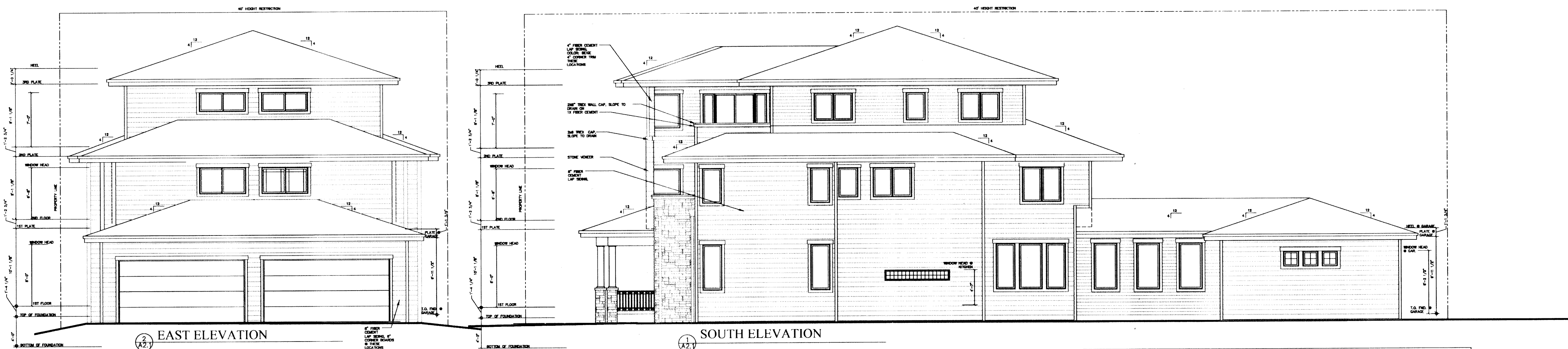
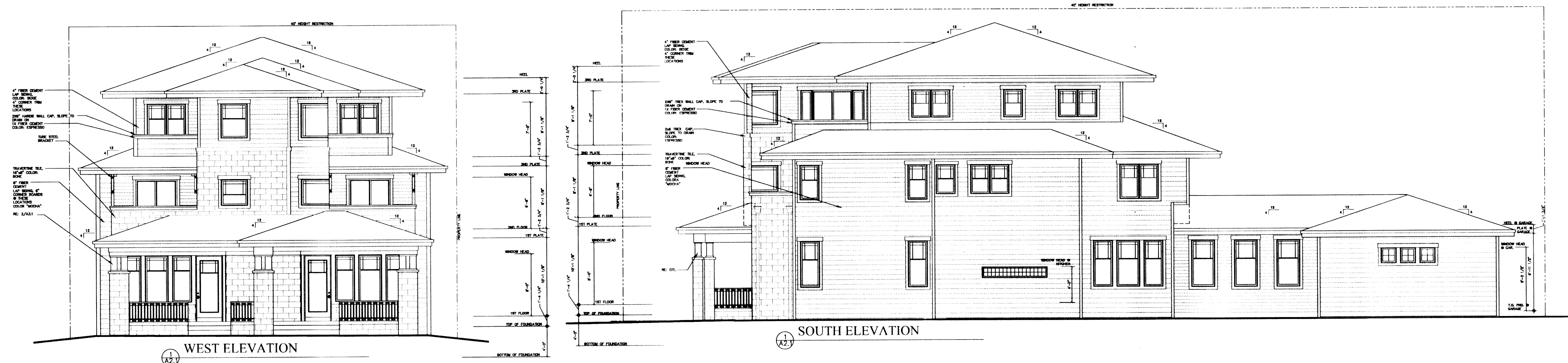
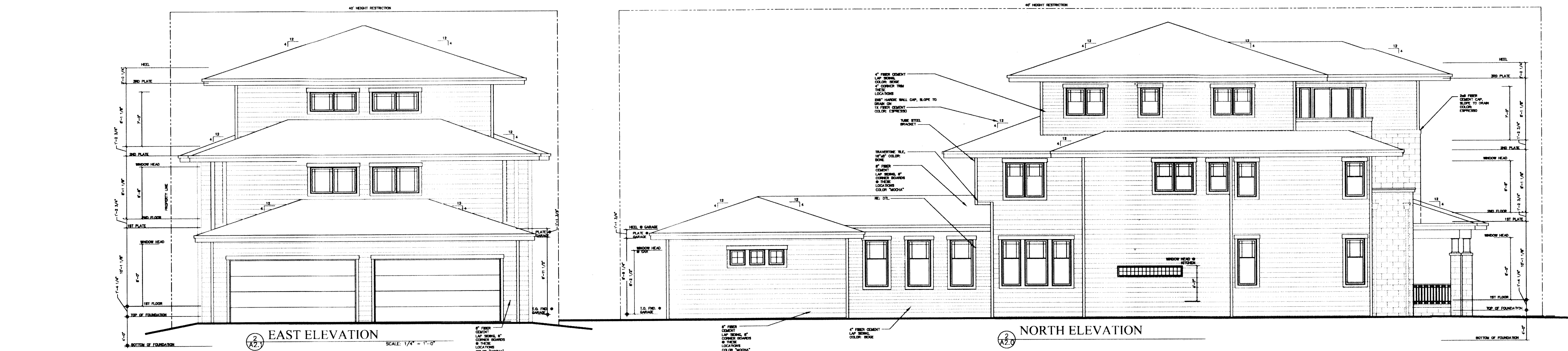
REVISIONS

SITE
PLAN

DATE: 6.22.16

A1.2

**PLANNED DEVELOPMENT OVERLAY
SITE DEVELOPMENT PLAN
SYCAMORE STREET DUPLEXES
5556 AND 5546 SOUTH SYCAMORE ST.
CASE # PDO16-0001**



Judith
ph 30
fx 30
1353
Suite
Every

PD

EL

DAT

A