

# LITTLETON MIXED USE

LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ARAPAHOE, STATE OF COLORADO

0.718 ACRES

CASE NUMBER: SDP16-0007

PSP16-0002

COA17-00001

## ZONING INFORMATION

| TYPE                                           | APPROVED LITTLETON MIXED USE PDO PSP16-0002                                                                                                                                                                                                                                                                                                                                                     | SDP PROVIDED                                                                                                                                                                                                                                                                                                                                                                                                         |
|------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| PRIMARY USES ALLOWED                           | ALL USES PERMITTED IN THE B-2 ZONE DISTRICT                                                                                                                                                                                                                                                                                                                                                     | RETAIL, OFFICE                                                                                                                                                                                                                                                                                                                                                                                                       |
| MINIMUM LOT AREA                               | LOT SIZE - 31,256 S.F. / 0.718 ACRES                                                                                                                                                                                                                                                                                                                                                            | LOT SIZE - 31,256 S.F. / 0.718 ACRES                                                                                                                                                                                                                                                                                                                                                                                 |
| MINIMUM UNOBSTRUCTED / USABLE OPEN SPACE       | 1. 12 PERCENT / 3,751 S.F.<br>SITE AREA PROVIDED AS UNOBSTRUCTED OPEN SPACE<br><br>2. 20 PERCENT / 751 S.F. OF THE 12 PERCENT UNOBSTRUCTED OPEN SPACE SHALL BE PROVIDED ALONG THE PUBLIC R.O.W.<br><br>3. 25% OF THE EVENLY DISTRIBUTED OPEN SPACE MAY BE LOCATED IN THE R.O.W.: 751 S.F. x 25 PERCENT = 188 SF                                                                                 | 1. 12 PERCENT / 4,016 S.F.<br>SITE AREA PROVIDED AS UNOBSTRUCTED OPEN SPACE<br><br>2. 20 PERCENT / 754 S.F. OF THE 12 PERCENT UNOBSTRUCTED OPEN SPACE IS LOCATED ALONG THE PUBLIC R.O.W.<br><br>3. 188 SF / 25 PERCENT OF THE EVENLY DISTRIBUTED OPEN SPACE IS LOCATED IN THE R.O.W.                                                                                                                                 |
| MAXIMUM HEIGHT OF STRUCTURES                   | BUILDING HEIGHT: 61' - 0" AT STAIR RUN                                                                                                                                                                                                                                                                                                                                                          | 43'-6" NOT INCLUDING ELEVATOR OVER RUN / 44'-4" INCLUDING ELEVATOR OVER RUN / TOTAL BUILDING HEIGHT 53'-0"                                                                                                                                                                                                                                                                                                           |
| MAXIMUM FLOOR AREA RATIO (FAR)                 | 1.3 : 1 FAR                                                                                                                                                                                                                                                                                                                                                                                     | 33,167 S.F. / 31,256 = 1.06 = 1.1 : 1 FAR                                                                                                                                                                                                                                                                                                                                                                            |
| BUILDING SQUARE FOOTAGE                        | 31,256 S.F. x 1.3 FAR = 40,633 MAXIMUM BUILDING S.F.                                                                                                                                                                                                                                                                                                                                            | COMMERCIAL GROSS FLOOR AREA<br>• FIRST FLOOR (RETAIL & OFFICE) - 4,884 GFA<br>• SECOND FLOOR (OFFICE) - 15,723 GFA<br>• THIRD FLOOR (OFFICE) - 12,560 GFA<br><br>33,167 GFA (100%)                                                                                                                                                                                                                                   |
| BUILDING SETBACKS                              | NONE                                                                                                                                                                                                                                                                                                                                                                                            | FRONT: 0' MIN., SIDE: 0' MIN., REAR: 2' MIN.                                                                                                                                                                                                                                                                                                                                                                         |
| PARKING REQUIREMENTS                           | 50% PARKING REDUCTION TO THE PARKING REQUIREMENT FOR ALL USES EXCEPT RESIDENTIAL.<br>RETAIL STORES: 1 SPACE PER 400 S.F. GFA<br>OFFICE / BANK: 1 SPACE PER 600 S.F. GFA<br>RESIDENTIAL (MULTI-FAMILY): 1.5 SPACE PER UNIT<br>BICYCLE PARKING: PER CITY OF LITTLETON, 10-4-9, SECT. 9<br>ACCESSIBLE PARKING REQUIRED: 4% OF TOTAL REQ. SPACES<br>COMPACT PARKING ALLOWED: 25% OF REQUIRED SPACES | 50% PARKING REDUCTION TO THE PARKING REQUIREMENT FOR ALL USES EXCEPT RESIDENTIAL;<br>RETAIL SPACE: 2,871 GSF = 8 SPACES REQUIRED<br>OFFICE/BANK: 30,296 GSF = 51 SPACES REQUIRED<br>TOTAL PARKING: 59 SPACES REQUIRED / 55 SPACES PROVIDED<br>BICYCLE PARKING: 12 SPACES = 4 REQUIRED VEHICULAR SPACE<br>ACCESSIBLE PARKING: 3 SPACES (REQUIRED/PROVIDED)<br>COMPACT PARKING: 14 SPACES PROVIDED (15 SPACES ALLOWED) |
| LOADING SPACE REQUIREMENT                      | 1 / 25,000 - 40,000 S.F. COMMERCIAL GROSS FLOOR AREA (GFA)                                                                                                                                                                                                                                                                                                                                      | 1 SPACE PROVIDED (33,167 GFA COMMERCIAL)                                                                                                                                                                                                                                                                                                                                                                             |
| PARKING LOT INTERNAL LANDSCAPING               | 1. MINIMUM 5 PERCENT OF PARKING LOT AREA PROVIDED AS INTERNAL LANDSCAPING<br>2. 75 PERCENT MINIMUM LIVING MATERIAL                                                                                                                                                                                                                                                                              | 1. 5 PERCENT OF PARKING LOT AREA PROVIDED AS INTERNAL LANDSCAPING (PARKING LOT AREA 10,508 S.F. x 5 PERCENT = 526 S.F. REQUIRED / 541 S.F. PROVIDED)<br>2. 90 PERCENT LIVING MATERIAL PROVIDED IN INTERNAL LANDSCAPE AREAS (INTERNAL LANDSCAPE AREA 526 S.F. x 75 PERCENT = 395 S.F. REQUIRED LIVING MATERIAL / 477 S.F. (90 PERCENT) PROVIDED LIVING MATERIAL)                                                      |
| PARKING STALL AND LOT DIMENSIONAL REQUIREMENTS | 1. PARKING STALL - REGULAR 9 FT X 18 FT / COMPACT 8 FT X 18 FT.<br>2. PARKING AISLE - 24 FEET WIDE                                                                                                                                                                                                                                                                                              | 1. PARKING STALL - REGULAR 9 FT X 18 FT / COMPACT 8 FT X 18 FT.<br>2. PARKING AISLE - 24 FEET WIDE                                                                                                                                                                                                                                                                                                                   |
| BUILDING STEPPED HEIGHT ALLOWANCE              | 1. STAIR AND ELEVATOR CORRIDORS AND ASSOCIATED LOBBY AREAS MAY BE LOCATED WITHIN 12' OF THE MAIN STREET RIGHT-OF-WAY, 25 FOOT MAXIMUM WIDTH ALONG R.O.W.<br>2. EXTERIOR BALCONY CANOPIES THAT FRONT THE MAIN STREET R.O.W. MAY ENCROACH INTO THE 25 PERCENT ALLOWED VISIBLE AREA OF THE FLOOR ABOVE.                                                                                            | 1. STAIR AND ELEVATOR CORRIDORS AND ASSOCIATED LOBBY AREAS MAY BE LOCATED WITHIN 12' OF THE MAIN STREET RIGHT-OF-WAY, 25 FOOT MAXIMUM WIDTH ALONG R.O.W.<br>2. EXTERIOR BALCONY CANOPIES THAT FRONT THE MAIN STREET R.O.W. MAY ENCROACH INTO THE 25 PERCENT ALLOWED VISIBLE AREA OF THE FLOOR ABOVE.                                                                                                                 |

CERTIFICATE OF APPROPRIATENESS WAS APPROVED ON FEBRUARY 22, 2017.

PD016-0002 WAS APPROVED ON AUGUST 22, 2016.

THE SDP SHALL COMPLY WITH THE ARCHITECTURAL CUT SHEETS APPROVED WITH THE CERTIFICATE OF APPROPRIATENESS (COA).

## OWNERSHIP CERTIFICATION

OWNER:

I, JON BENALLO, OWNER, OR DESIGNATED AGENT THERETO, DOES HEREBY AGREE TO DEVELOP THE ABOVE DESCRIBED PROPERTY IN ACCORDANCE WITH THE USE, RESTRICTIONS, AND CONDITIONS CONTAINED HEREIN, AND CURRENT ORDINANCES, RESOLUTIONS, AND STANDARDS OF THE CITY OF LITTLETON, COLORADO.

SIGNATURE OF OWNER AND/OR AGENT

1660 17TH ST, #300  
DENVER, CO 80202

ACKNOWLEDGEMENT:

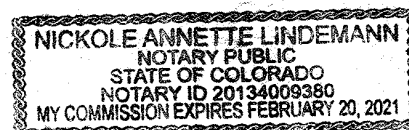
STATE OF COLORADO  
COUNTY OF DENVER

THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS 30th DAY OF November, 2017.

BY JON BENALLO AS AUTHORIZED AGENT

WITNESS MY HAND AND OFFICIAL SEAL.

Nicole Annette Lindemann  
NOTARY PUBLIC  
MY COMMISSION EXPIRES 2/20/21



## CITY APPROVALS

COMMUNITY DEVELOPMENT APPROVAL

APPROVED THIS 5th DAY OF December, 2017  
BY THE DIRECTOR OF COMMUNITY DEVELOPMENT

Valerie Mills  
DIRECTOR OF COMMUNITY DEVELOPMENT

PUBLIC WORKS APPROVAL

APPROVED THIS 5th DAY OF December, 2017  
BY THE DIRECTOR OF PUBLIC WORKS

Kath Reester  
DIRECTOR OF PUBLIC WORKS

RECORDING CERTIFICATION

THIS DOCUMENT WAS FILED FOR RECORDS IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ARAPAHOE COUNTY AT 10:20 AM, ON THE 7th DAY OF A.D. 2017, IN BOOK 55, PAGE 44-57 MAP ---, RECEPTION NUMBER 07138372.

Matt Crane  
ARAPAHOE COUNTY CLERK AND RECORDER

David Chandra  
DEPUTY

## STANDARD CONCRETE REPLACEMENT NOTE

1. PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY AND/OR PRIOR TO ANY USE OF THE BUILDING THE CURB, GUTTER, SIDEWALK, CURB CUTS, CROSS PANS, AND WHEELCHAIR RAMPS ADJACENT TO THE PROPERTY WILL BE CLEANED BY THE CONTRACTOR FOR INSPECTION BY THE LITTLETON ENGINEERING DIVISION. ANY NEWLY DAMAGED OR DISPLACED CONCRETE AREAS AS WELL AS ANY CONCRETE AREAS THAT WERE ALREADY DAMAGED OR DISPLACED PRIOR TO START OF THE CONSTRUCTION SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AS DIRECTED BY THE LITTLETON ENGINEERING INSPECTOR PRIOR TO APPROVAL OF THE CERTIFICATE OF OCCUPANCY AND/OR PRIOR TO ANY USE OF THE BUILDING.
2. THE DESIGNS SHOWN SATISFY ADA REQUIREMENTS FOR THE GRADES AND CROSS SLOPES SHOWN ON THESE PLANS FOR THE SIDEWALKS AND WALKWAYS, RAMPS, ETC.
3. ALL ELEVATIONS SHOWN ON THESE PLANS ARE TIED TO NAVD88 DATUM.

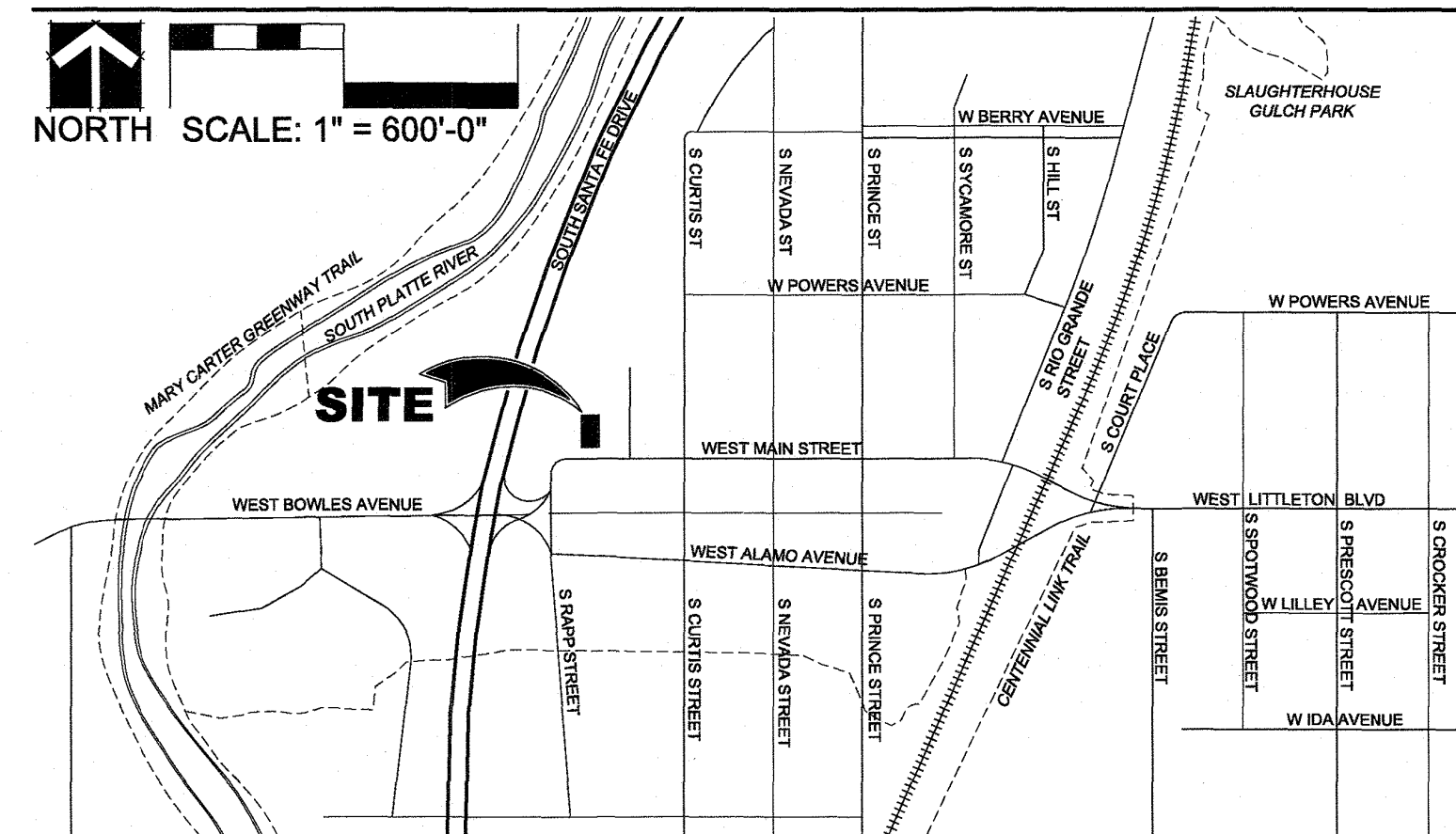
## SHEET INDEX

- 1 COVER SHEET
- 2 SITE PLAN
- 3 UNOBSTRUCTED OPEN SPACE GRAPHIC
- 4-5 GRADING PLAN
- 6 UTILITY PLAN
- 7 LANDSCAPE PLAN
- 8-9 SITE AND LANDSCAPE DETAILS
- 10-11 ELEVATIONS
- 12-13 FLOOR PLANS
- 14 PHOTOMETRIC PLAN

## LEGAL DESCRIPTION:

LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CONTAINING 31,256 SQUARE FEET (0.718-ACRES) MORE OR LESS.

## VICINITY MAP



## PROJECT TEAM

### OWNER / DEVELOPER

2679 MAIN STREET PARTNERS / CONTACT: JON BENALLO  
1660 17TH STREET, SUITE 300 - DENVER, COLORADO 80022  
T 303-606-7841

### PLANNER / ARCHITECT / LANDSCAPE ARCHITECT:

LAI DESIGN GROUP / CONTACT: JOSH ROWLAND  
88 INVERNESS CIRCLE EAST - BUILDING J, SUITE 101  
ENGLEWOOD, COLORADO 80112  
T 303.734.1777 / F 303.734.1778

### CIVIL ENGINEER / SURVEYOR:

CWC CONSULTING GROUP / CONTACT: BRYAN CLERICO  
9360 TEDDY LANE, SUITE 203 - LONE TREE, COLORADO 80124  
T 303.395.2700 / F 303.395.2701

## SDP STANDARD NOTES

- A. FAILURE TO OBTAIN A BUILDING PERMIT WITHIN ONE (1) YEAR AFTER THE DATE OF SDP RECORDATION SHALL CAUSE THE UNBUILT PORTION OF THIS SDP TO BE NULL AND VOID, UNLESS AN EXTENSION WAS GRANTED.
- B. RECORDATION OF THE SDP SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
- C. APPROVAL OF SITE CONSTRUCTION PLANS BY THE CITY OF LITTLETON SHALL BE REQUIRED (AS APPLICABLE) PRIOR TO ISSUANCE OF BUILDING PERMITS.
- D. FOR ALL FUTURE PHASES, THE APPLICANT SHALL SUBMIT A SITE DEVELOPMENT PLAN OF THE PHASE FOR WHICH A PERMIT IS REQUESTED, WHICH SHALL BE APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- E. SIGNAGE SHOWN ON THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. A SIGN PERMIT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
- F. ALL EXISTING AND PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS AN AGREEMENT FOR PLACING UTILITIES UNDERGROUND HAS BEEN ENTERED INTO BETWEEN THE PROPERTY AND THE CITY.
- G. CERTIFICATE OF HISTORIC APPROPRIATENESS #COA16-0003 IS APPROVED FOR THE LITTLETON MIXED USE. ANY CHANGES TO THE ELEVATIONS REQUIRE PRIOR APPROVAL FROM THE CITY.

## STATEMENT OF INTENT

THE LITTLETON MIXED USE PROJECT PROVIDES COMMERCIAL USES INCLUDING 2,871 SQUARE FEET OF SPACE FOR RETAIL USES AND 2,013 SQUARE FEET OF SPACE FOR BANK/OFFICE USES ON THE GROUND FLOOR ALONG THE MAIN STREET FRONTAGE. THE SECOND FLOOR PROVIDES 15,723 SQUARE FEET OF FLEX OFFICE SPACE AND THE THIRD FLOOR PROVIDES 12,560 SQUARE FEET OF FLEX OFFICE SPACE AND FEATURES A LARGE BALCONY OVERLOOKING THE MAIN STREET CORRIDOR. THE BUILDING IS 43.5 FEET TALL AT THE HIGHEST PARAPET. THE OVERALL SITE AREA IS 31,256 SQUARE FEET IN SIZE AND PROVIDES 55 VEHICULAR PARKING SPACES AND 12 BICYCLE PARKING SPACES TO PROVIDE THE REQUIRED AMOUNT OF PARKING FOR BUILDING OCCUPANTS. A PLANNED DEVELOPMENT OVERLAY (PDO CASE # PSP16-0002) WAS APPROVED THAT ALLOWS FOR THE FOLLOWING PROVISIONS: A REDUCTION IN THE OPEN SPACE REQUIREMENT TO 12% (20% OF OPEN SPACE ALONG THE ROW); A 50% PARKING REDUCTION, REVISED STANDARDS FOR PARKING STALL DIMENSIONS (9'X18', WITH A 24' WIDE DRIVE ISLE), AND REVISED STANDARDS FOR THE DOWNTOWN DESIGN GUIDELINES PROVISIONS FOR BUILDING MASSING ALONG MAIN STREET. A CERTIFICATE OF APPROPRIATENESS (COA CASE #COA17-0001) WAS GRANTED BY THE HISTORIC PRESERVATION BOARD, AS REQUIRED DUE TO THE SITE BEING IN SUBAREA #5 OF THE LITTLETON DOWNTOWN DESIGN STANDARDS, WHICH APPROVED THE BUILDING CONCEPT AS SHOWN ON THIS SDP.

ARCHITECT / PLANNER

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OWNER/CLIENT

2679 MAIN STREET  
PARTNERS  
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DENVER, CO 80022  
303-606-7841

SITE DEVELOPMENT PLAN  
LITTLETON MIXED USE  
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CASE NUMBER: SDP16-0007  
COVER SHEET

PROFESSIONAL STAMP

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR

## ISSUE RECORD

|                   |            |
|-------------------|------------|
| SDP PRE-SUBMITTAL | 04/29/2017 |
| SDP SUBMITTAL #1  | 05/19/2017 |
| SDP SUBMITTAL #2  | 08/17/2017 |
| SDP SUBMITTAL #3  | 10/17/2017 |
| SDP SUBMITTAL #4  | 11/29/2017 |

## SHEET NUMBER

1  
1 OF 14

515-44

1/14



## LITTLETON MIXED USE

LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ARAPAHOE, STATE OF COLORADO

0.718 ACRES

CASE NUMBER: SDP16-0007

PSP16-0002

COA17-00001

## SITE PLAN

## SITE DATA

|                                                              |                  |      |
|--------------------------------------------------------------|------------------|------|
| SITE AREA WITHIN PROPERTY LINE                               | 31,256 SF        | 100% |
| TOTAL IMPERVIOUS                                             | 27,930 SF        | 89%  |
| TOTAL BUILDING FOOTPRINT (IMPERVIOUS)                        | 5,496 SF = 17%   |      |
| FLOOR AREA RATIO (FAR)                                       | 1.1 : 1 FAR      |      |
| PARKING LOT/LOADING AREA (IMPERVIOUS)                        | 22,434 SF = 72%  | 11%  |
| TOTAL PERVIOUS (PARKING LOT LANDSCAPE)                       | 3,326 SF         |      |
| • PLANT MATERIAL - 2,037 S.F.<br>• COBBLE/OTHER - 1,289 S.F. |                  |      |
| UN-OBSTRUCTED OPEN SPACE                                     | 4,016 SF =       |      |
| • SEE SHEET 3 FOR DETAILS                                    | 12% OF SITE AREA |      |

## BUILDING DATA

|                                             |                   |
|---------------------------------------------|-------------------|
| COMMERCIAL GROSS FLOOR AREA                 | 33,167 GFA (100%) |
| • FIRST FLOOR (RETAIL & OFFICE) - 4,884 GFA |                   |
| • SECOND FLOOR (OFFICE) - 15,723 GFA        |                   |
| • THIRD FLOOR (OFFICE) - 12,560 GFA         |                   |

## PARKING CALCULATIONS

| USE                               | GFA                                                                                                                        | PARKING RATIO                                               | PARKING REQ. |
|-----------------------------------|----------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|--------------|
| RETAIL (1ST FLOOR)                | 2,871 GFA                                                                                                                  | 1 SPACE / 400 SF                                            | 8 SPACES     |
| OFFICE                            | 30,296 GFA                                                                                                                 | 1 SPACE / 600 SF                                            | 51 SPACES    |
|                                   | 2,013 GFA (BANK / OFFICE LOBBY & STAIRS - 1ST FLOOR)<br>15,723 GFA (OFFICE - 2ND FLOOR)<br>12,560 GFA (OFFICE - 3RD FLOOR) |                                                             |              |
| TOTAL PARKING REQUIRED / PROVIDED |                                                                                                                            | 59 SPACES REQUIRED / 55 SPACES PROVIDED                     |              |
| BICYCLE PARKING                   |                                                                                                                            | 12 BICYCLE SPACES PROVIDED<br>= 4 REQUIRED VEHICULAR SPACES |              |
| COMPACT PARKING (25% ALLOWED)     |                                                                                                                            | 14 COMPACT SPACES ALLOWED /<br>14 COMPACT SPACES PROVIDED   |              |

## SITE LEGEND

|                                                           |                            |
|-----------------------------------------------------------|----------------------------|
| --- LOT LINE/RIGHT OF WAY                                 | PROPOSED BENCH             |
| EXISTING LIGHT POLE                                       | PROPOSED BIKE RACK         |
| EXISTING STREET SIGN                                      | PROPOSED PLANTER           |
| # PROPOSED PARKING COUNT PER ROW                          | PROPOSED TRASH RECEPTACLE  |
| PROPOSED TRAFFIC FLOW                                     | PROPOSED WHEEL STOP        |
| PROPOSED BUILDING ACCESS                                  | PROPOSED TREE GRATE        |
| PROPOSED 6" VERTICAL CURB AND GUTTER (EXCEPT WHERE NOTED) | PROPOSED LIGHT FIXTURE     |
| PROPOSED SIGN                                             | PLANTING AREA              |
| PROPOSED LIGHTED SECURITY BOLLARD                         | NEW CONCRETE CITY SIDEWALK |
| RETAINING WALL                                            |                            |
| UN-OBSTRUCTED OPEN SPACE AREAS                            |                            |

## STANDARD UNDERGROUND UTILITY SITE PLAN NOTE

THE OWNERS FOR THEMSELVES AND THEIR HEIRS, SUCCESSORS AND ASSIGNS, AGREE THAT THEY SHALL PLACE UNDERGROUND OR CAUSE TO BE PLACED UNDERGROUND, AT THEIR SOLE EXPENSE, ALL UTILITIES REQUIRED TO BE PLACED UNDERGROUND PURSUANT TO THE LITTLETON MUNICIPAL CODE AT A FUTURE DATE AS DIRECTED BY THE CITY OF LITTLETON IN ITS SOLE DISCRETION. SUCH UTILITIES TO BE PLACED UNDERGROUND SHALL SPECIFICALLY INCLUDED BUT NOT BE LIMITED TO: ELECTRICITY, TELEPHONE, FIBER OPTICS, AND CABLE TELEVISION. IT IS ALSO AGREED THAT ALL PROPOSED UTILITIES RELATED TO THIS SITE PLAN SHALL BE INSTALLED UNDERGROUND UNLESS SPECIFICALLY APPROVED AND NOTED OTHERWISE.

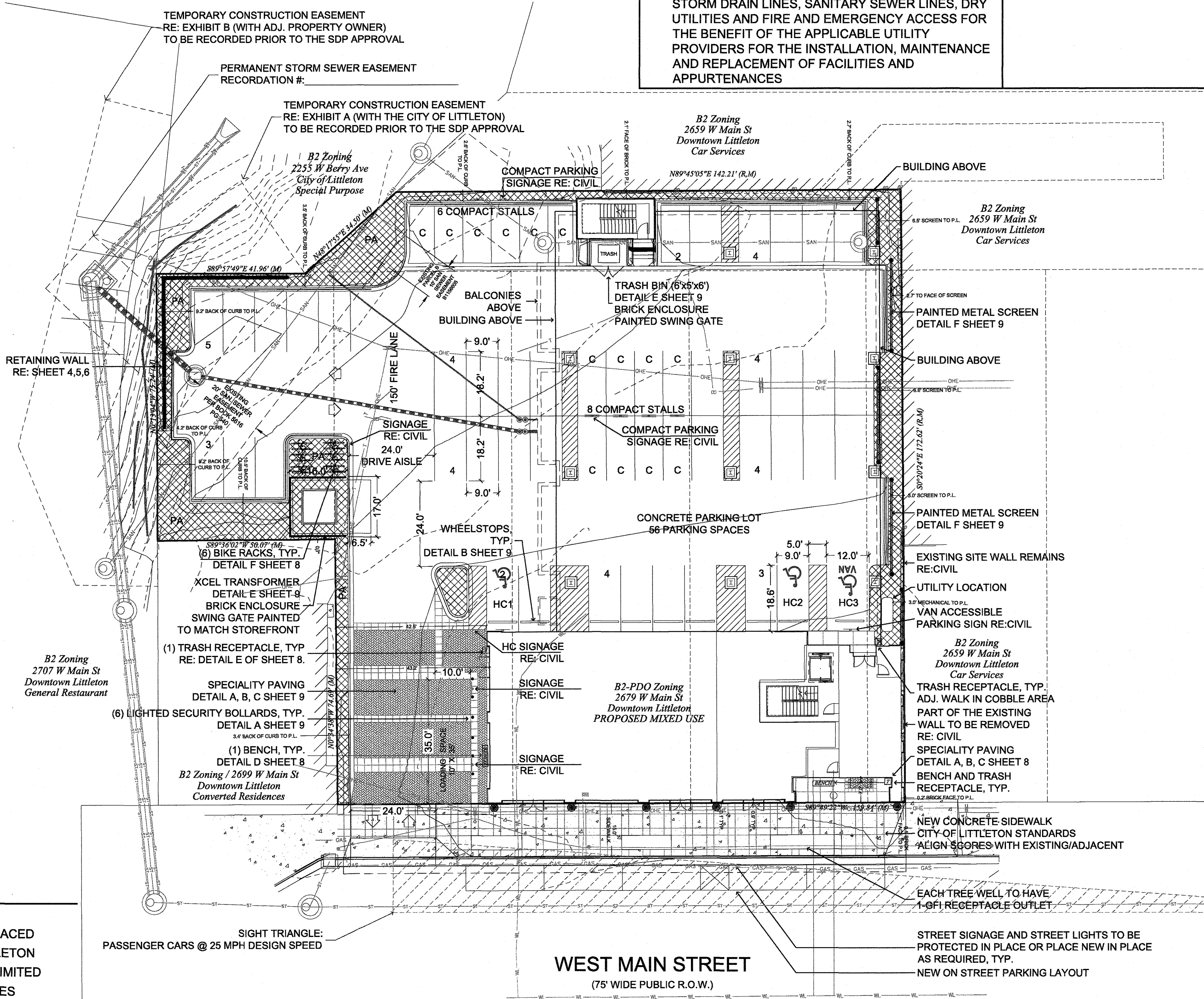
## GENERAL PERMIT

A COPY OF THE COLORADO CDPS GENERAL PERMIT FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY" SHALL BE SUBMITTED TO THE CITY OF LITTLETON WITH THE APPLICATION FOR A FOUNDATION, BUILDING OR GRADING PERMIT.

## SITE PLAN NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LITTLETON.
- VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR.
- "NO PARKING FIRE LANE" SIGNS TO BE MOUNTED AT A HEIGHT OF AT LEAST 7' MOUNTED AT 30-40 DEGREE ANGLE.
- ALL PAVEMENT MARKINGS ARE SUBJECT TO MATERIAL CHANGES DUE SEASON AND/OR WEATHER. TEMPORARY MATERIALS MAY BE REQUIRED. SPECIFIED FINAL PAVEMENT MARKING MATERIALS SHALL BE INSTALLED WHEN SEASON/WEATHER ALLOW.
- CITY OWNED COBRA HEAD LIGHT POLE AND OVERHEAD POWER LINE SUPPLYING POWER TO TREE LIGHTS TO BE REMOVED AS SPECIFIED IN THE BUILDING PERMIT ELECTRICAL PLANS.

- PARKING NOTES:
- PARKING RATIOS REFLECT 50 PERCENT REDUCTION FROM CITY REQUIREMENTS FOR INCLUSION INTO THE HISTORIC DISTRICT.
  - 4 PERCENT OF REQUIRED PARKING SHALL BE PROVIDED AS HANDICAP ACCESSIBLE SPACES.



## EXISTING AND PROPOSED EASEMENTS

| EXISTING EASEMENTS                                                                                                                                                                                                                                                                                | RECORDING INFORMATION                                  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------|
| 20' SANITARY SEWER EASEMENT                                                                                                                                                                                                                                                                       | PER BOOK 5616 PG 540                                   |
| PARCEL B 10' SAN SEWER EASEMENT                                                                                                                                                                                                                                                                   | B1156605                                               |
| PROPOSED EASEMENTS                                                                                                                                                                                                                                                                                | RECORDING INFORMATION                                  |
| MELTING POT<br>PERMANENT STORM SEWER EASEMENT<br>TEMPORARY CONSTRUCTION EASEMENT                                                                                                                                                                                                                  | SEE EXHIBIT A - AGREEMENT<br>SEE EXHIBIT B - AGREEMENT |
| CITY OF LITTLETON<br>TEMPORARY CONSTRUCTION EASEMENT                                                                                                                                                                                                                                              | SEE EXHIBIT A - AGREEMENT                              |
| ON-SITE<br>BLANKET EASEMENTS ARE TO BE DEDICATED FOR<br>STORM DRAIN LINES, SANITARY SEWER LINES, DRY<br>UTILITIES AND FIRE AND EMERGENCY ACCESS FOR<br>THE BENEFIT OF THE APPLICABLE UTILITY<br>PROVIDERS FOR THE INSTALLATION, MAINTENANCE<br>AND REPLACEMENT OF FACILITIES AND<br>APPURTENANCES | (PER VALLEY FEED FILING NO. 1)                         |

ARCHITECT / PLANNER

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OWNER/CLIENT

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PARTNERS  
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SITE DEVELOPMENT PLAN  
LITTLETON MIXED USE  
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CASE NUMBER: SDP16-0007  
SITE PLAN

PROFESSIONAL STAMP

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR

## ISSUE RECORD

|                   |            |
|-------------------|------------|
| SDP PRE-SUBMITTAL | 04/25/2017 |
| SDP SUBMITTAL #1  | 05/15/2017 |
| SDP SUBMITTAL #2  | 08/17/2017 |
| SDP SUBMITTAL #3  | 10/17/2017 |
| SDP SUBMITTAL #4  | 11/29/2017 |

SHEET NUMBER

2

2 OF 14

515-45

2/14

0 20 40  
NORTH SCALE: 1" = 20'-0"

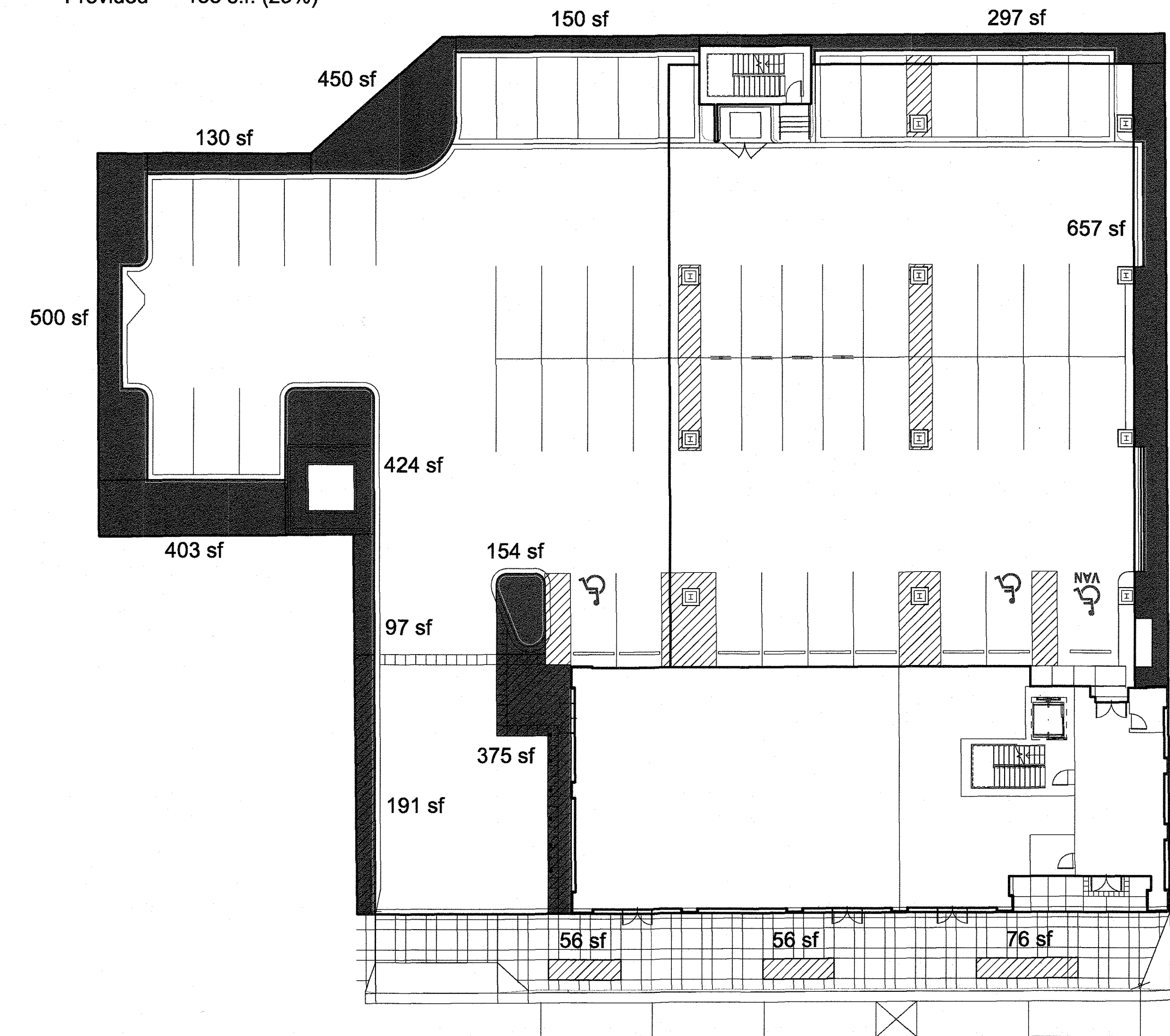


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PSP16-0002  
COA17-00001

## UNOBSTRUCTED OPEN SPACE EXHIBIT

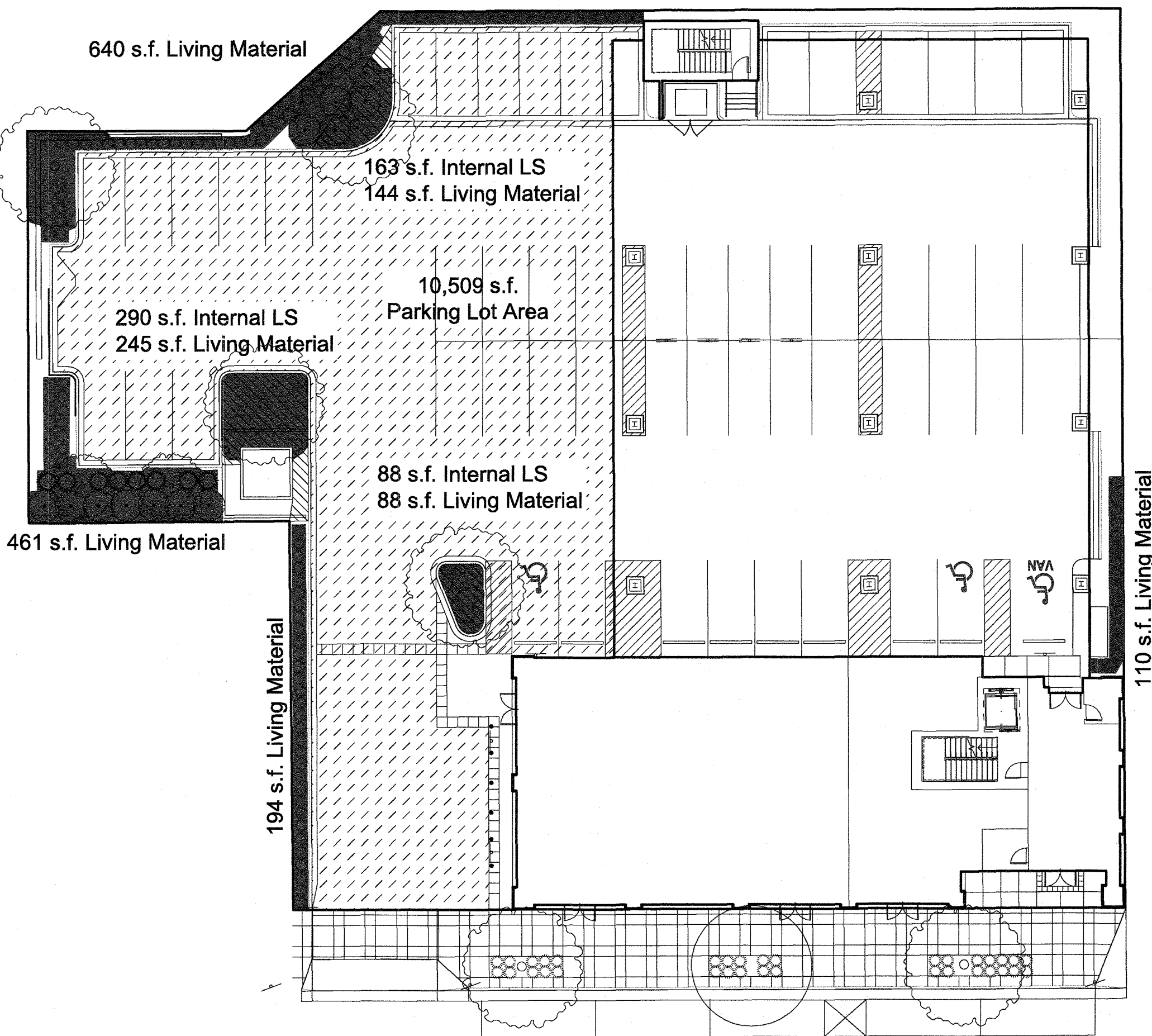
- Open Space Summary**
- Total Un-obstructed Open Space
  - Required - 3,751 s.f. (12% of site area)
  - Provided - 4,016 (12% of site area)
- Un-obstructed Open Space along the R.O.W.**
- Required - 751 s.f. (20% of required Open Space area)
  - Provided - 754 s.f. (20% of required Open Space area)
- Un-obstructed Open Space along R.O.W. located in the R.O.W.**
- Allowed - 188 s.f. (25%)
  - Provided - 188 s.f. (25%)



## LANDSCAPE AREA EXHIBIT

### Landscape Summary

- Un-obstructed Open Space Landscape Living Material**
- Required - 1,876 s.f. (50% of required Open Space area)
  - Provided - 1,882 s.f. (50% of required Open Space area)
- Parking Lot Internal Landscape Area and Living Material**
- Required - 526 s.f. Internal Landscape Area (5% of Parking Lot Area)
  - 395 s.f. Living Material (75% of Internal Landscape Area)
  - Provided - 541 s.f. Internal Landscape Area (5% of Parking Lot Area)
  - 477 s.f. Living Material (90% of Internal Landscape Area)
- Total Parking Lot Area - 10,509 s.f.**



ARCHITECT / PLANNER

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88 Inverness Circle East,  
Bldg. J, Suite 101  
Englewood, Colorado 80112  
T 303.734.1777 | F 303.734.1778  
Architecture | Planning | Civil Design  
Landscape Architecture | Visual Media  
www.LAIdesigngroup.com

OWNER/CLIENT

2679 MAIN STREET  
PARTNERS  
ATT: JON BENALLO  
1660 17TH STREET, STE 300  
DENVER, CO 80022  
303-608-7841

**SITE DEVELOPMENT PLAN**  
LITTLETON MIXED USE  
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CASE NUMBER: SDP16-0007  
**OPEN SPACE & LANDSCAPE EXHIBITS**

PROFESSIONAL STAMP

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR

ISSUE RECORD

|                   |            |
|-------------------|------------|
| SDP PRE-SUBMITTAL | 04/25/2017 |
| SDP SUBMITTAL #1  | 05/15/2017 |
| SDP SUBMITTAL #2  | 08/17/2017 |
| SDP SUBMITTAL #3  | 10/17/2017 |
| SDP SUBMITTAL #4  | 11/29/2017 |

SHEET NUMBER

3

3 OF 14

515-46

3/14  
NORTH  
SCALE: 1" = 20'-0"



# LITTLETON MIXED USE

LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1

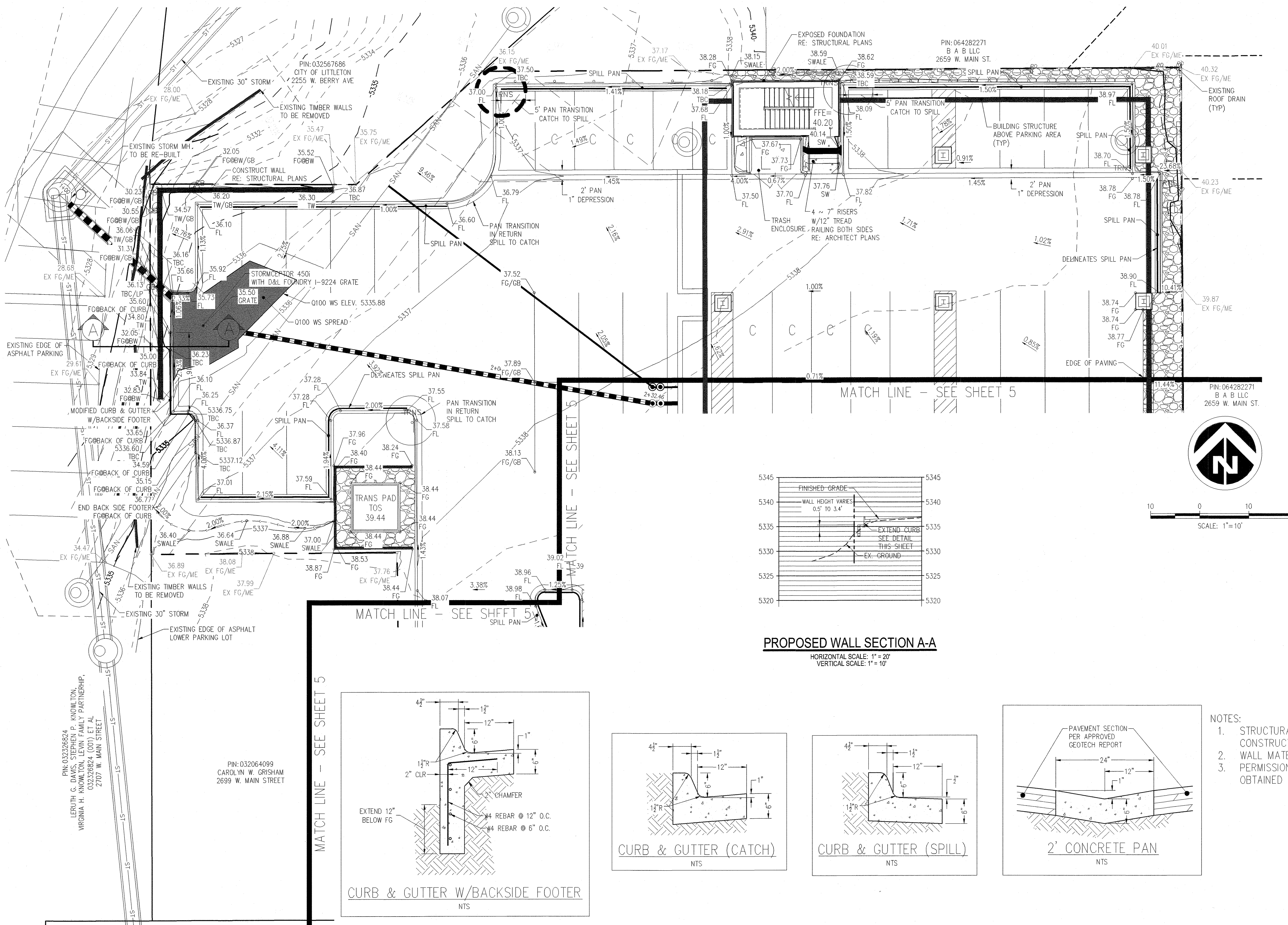
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ARAPAHOE, STATE OF COLORADO

0.718 ACRES

CASE NUMBER: SDP16-0007

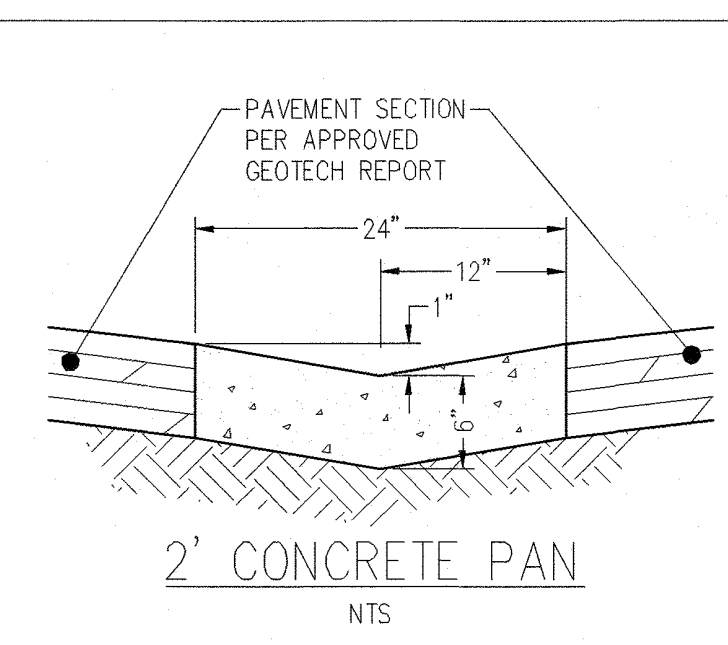
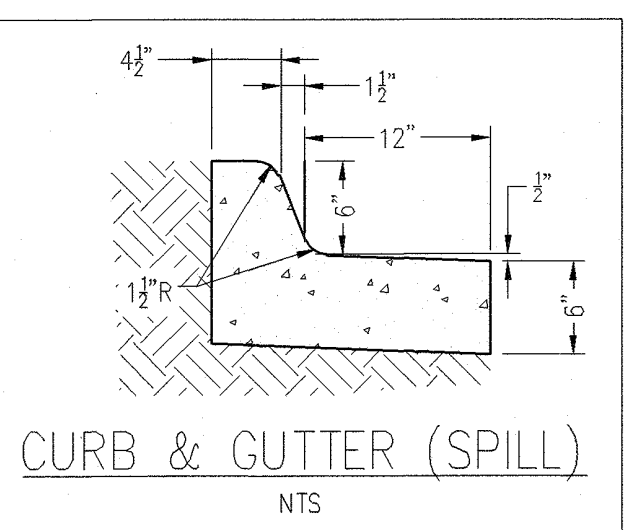
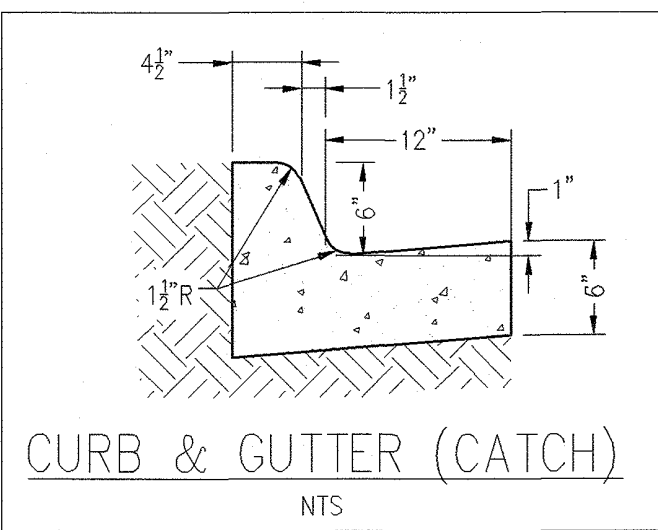
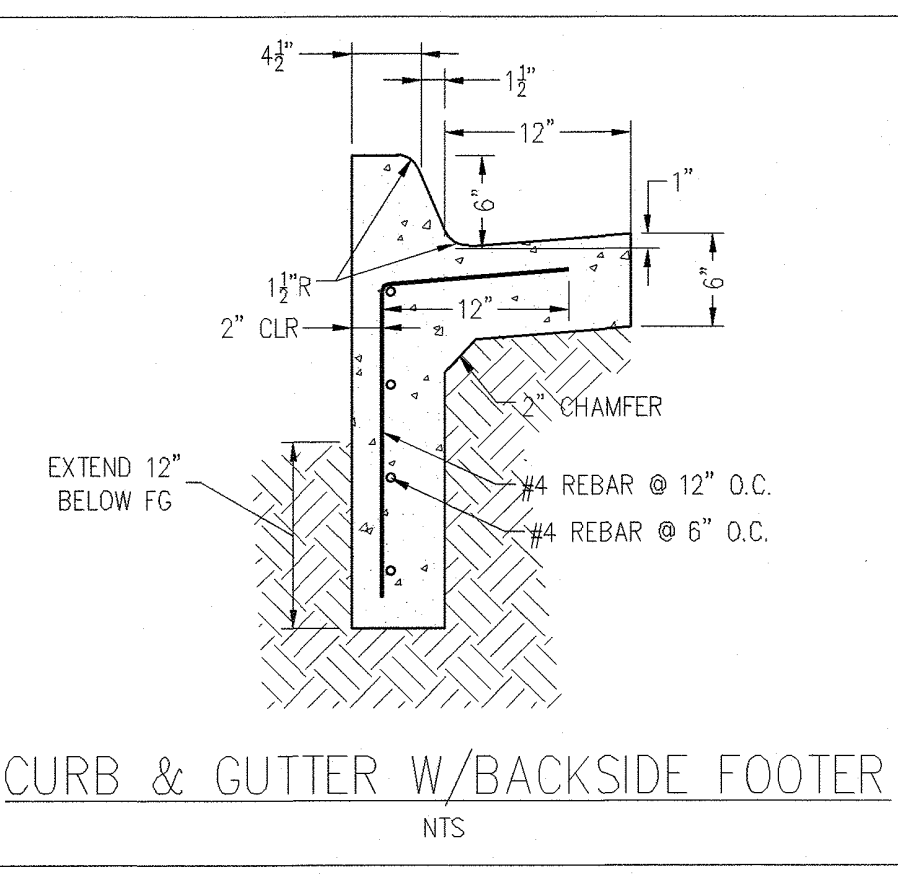
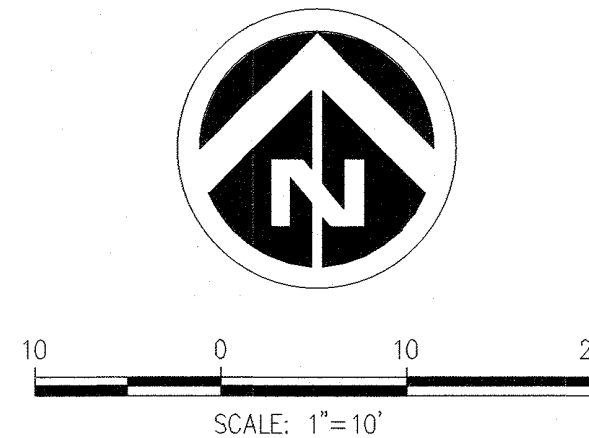
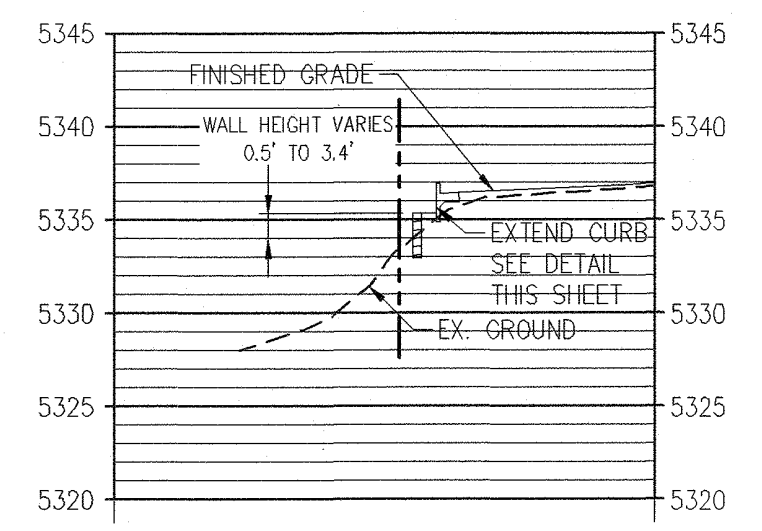
PSP16-0002

COA17-00001



## SYMBOLS AND LINETYPES LEGEND

- EX. WATERLINE W/ VALVE & TEE  
WL
- EX. SANITARY SEWER W/ MANHOLE  
SAN
- EX. STORM SEWER W/ INLET & F.E.S.  
ST
- EX. UNDERGROUND ELECTRICITY LINE  
UGE
- EX. OVERHEAD ELECTRICITY LINE  
OHE
- EX. GAS LINE  
GAS
- EX. TELEPHONE LINE  
T
- EX. EASEMENT LINE
- EX. FIRE HYDRANT
- EX. STREET LIGHT
- BOUNDARY LINE
- RIGHT OF WAY LINE
- LOT LINE
- INTERIOR LOT LINE
- EASEMENT LINE
- WATERLINE W/ GATE VALVE & TEE
- FULLY RESTRAINED WATERLINE W/ GATE VALVE & TEE
- SANITARY SEWER W/ MANHOLE
- STORM SEWER W/ INLET & F.E.S.
- FIRE HYDRANT
- PROPOSED CONTOURS
- EXISTING CONTOURS



- NOTES:
- STRUCTURAL DETAILS TO BE COMPLETED WITH FINAL CONSTRUCTION DOCUMENTS.
  - WALL MATERIALS TO COMPLEMENT BUILDING MATERIALS.
  - PERMISSION FROM ADJACENT PROPERTY OWNERS SHALL BE OBTAINED PRIOR TO ANY OFFSITE GRADING.

To request marking of underground facilities

**811**

Know what's below.  
Call before you dig.  
Call 811 or visit call811.com for more information

It is the contractor's responsibility to contact UNCC a minimum of 2 days prior to the start of construction operations. CWC Consulting Group claims no responsibility for the underground facilities depicted in this plan set.

ARCHITECT / PLANNER

**LAI**  
Design  
Group

world wide  
88 Inverness Circle East,  
Bldg. J, Suite 101  
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OWNER/CLIENT

2679 MAIN STREET  
PARTNERS  
ATT. JON BENALLO  
1660 17TH STREET, STE 300  
DENVER, CO 80022  
303-606-7841

SITE DEVELOPMENT PLAN  
LITTLETON MIXED USE  
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CASE NUMBER: SDP16-0007  
GRADING PLAN

PROFESSIONAL STAMP

CIVIL ENGINEER  
**CWC**  
CWC CONSULTING GROUP  
CIVIL ENGINEERS - LAND SURVEYING - CONSTRUCTION SERVICES  
210 FRONT STREET  
CASTLE ROCK, COLORADO  
80104  
TELEPHONE: 303.396.2700  
FAX: 303.396.2701

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR  
CWC DRAWN BY: ELS  
CWC CHECKED BY: BEC  
CWC PROJECT #: 130-00027

## ISSUE RECORD

|                   |            |
|-------------------|------------|
| SDP PRE-SUBMITTAL | 04/25/2017 |
| SDP SUBMITTAL #1  | 05/15/2017 |
| SDP SUBMITTAL #2  | 08/17/2017 |
| SDP SUBMITTAL #3  | 10/17/2017 |
| FINAL SUBMITTAL   | 11/29/2017 |

SHEET NUMBER

4

4 OF 14

515-47

4/14



# LITTLETON MIXED USE

LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1

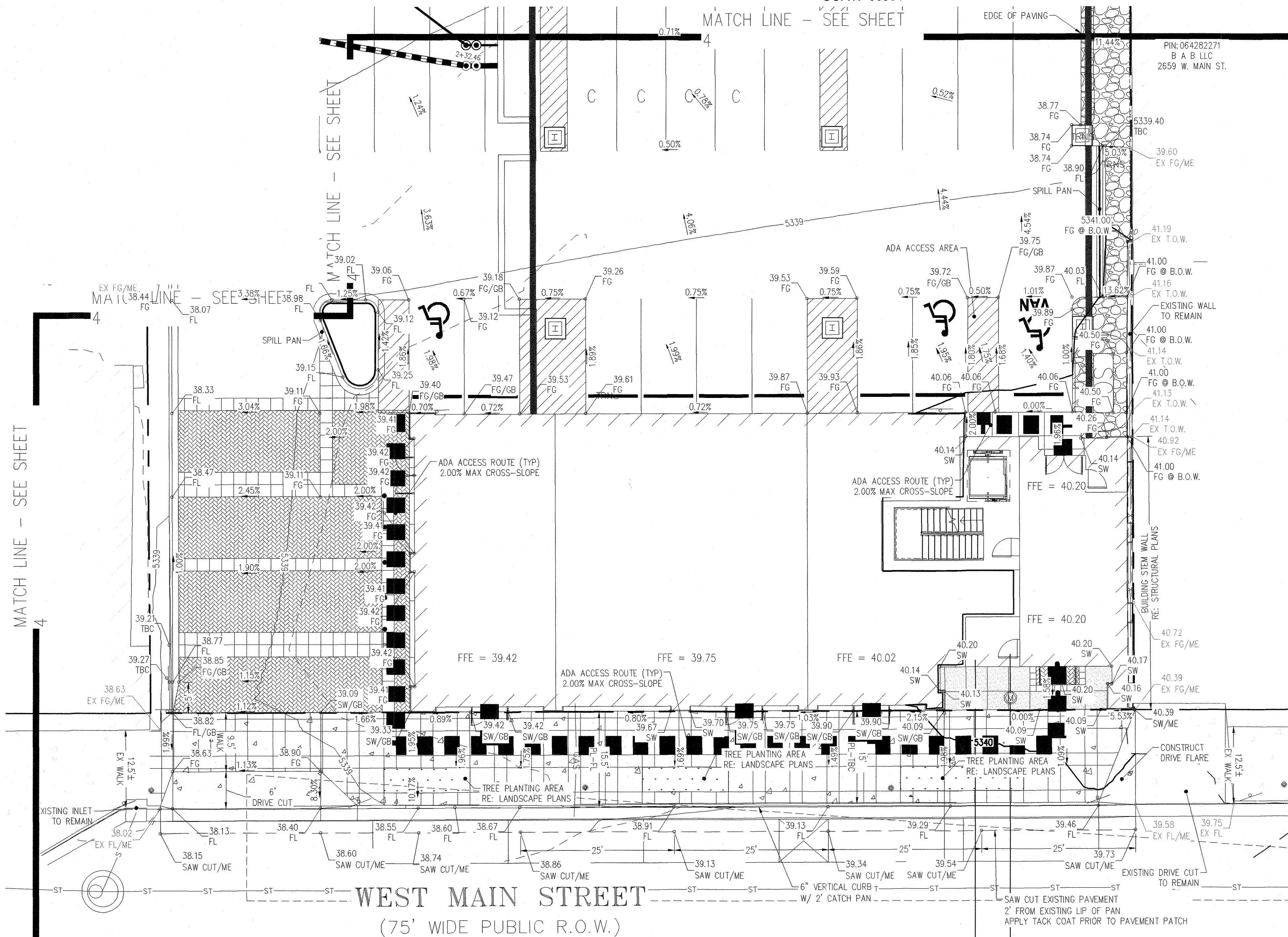
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ARAPAHOE, STATE OF COLORADO

0.718 ACRES

CASE NUMBER: SDP16-0007

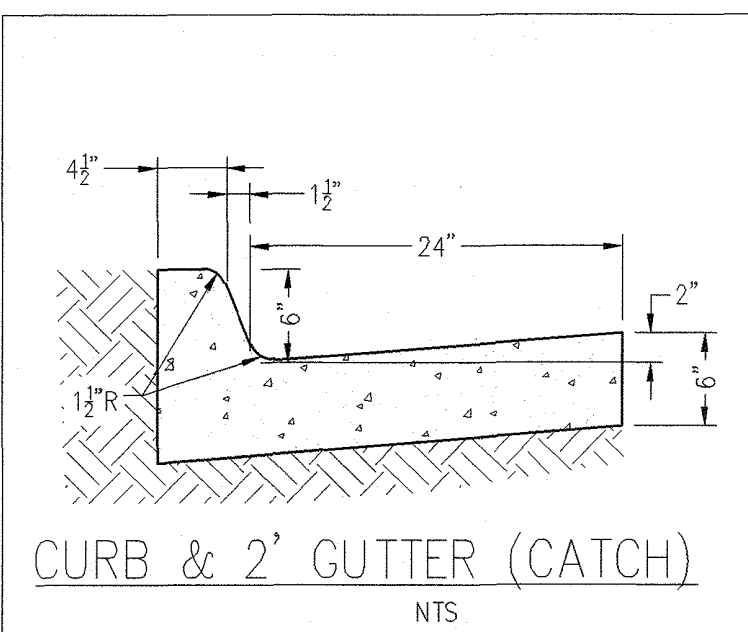
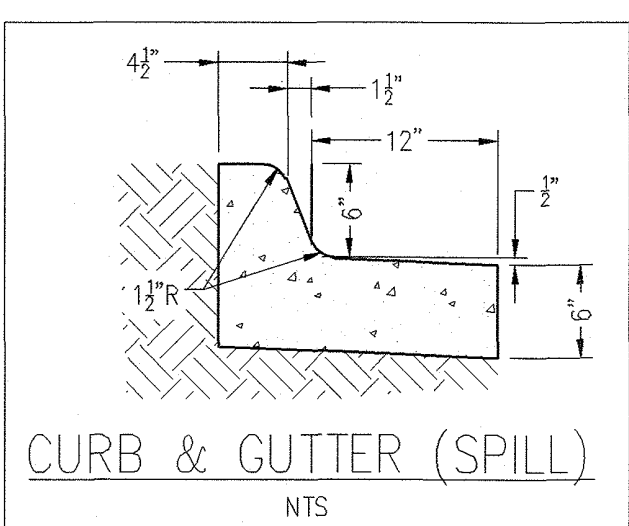
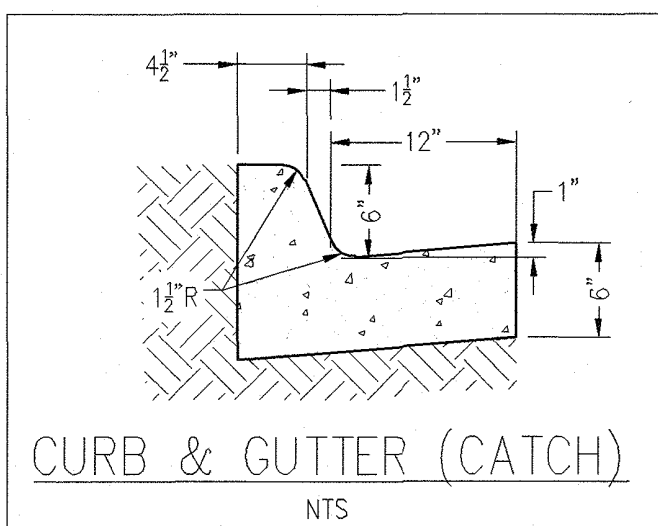
PSP16-0002

COA17-00001



## NOTES:

- STRUCTURAL DETAILS TO BE COMPLETED WITH FINAL CONSTRUCTION DOCUMENTS.
- WALL MATERIALS TO COMPLEMENT BUILDING MATERIALS.
- PERMISSION FROM ADJACENT PROPERTY OWNERS SHALL BE OBTAINED PRIOR TO ANY OFFSITE GRADING.



5/14

515-48

ARCHITECT / PLANNER

**LAI**  
Design  
Group

world wide  
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Bldg. J, Suite 101  
Englewood, Colorado 80112  
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Architecture | Planning | Golf Design  
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www.LAIdesigngroup.com

OWNER/CLIENT

2679 MAIN STREET  
PARTNERS  
ATT: JON BENALLO  
1660 17TH STREET, STE 300  
DENVER, CO 80022  
303-606-7841

SITE DEVELOPMENT PLAN

LITTLETON MIXED USE

LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1

CASE NUMBER: SDP16-0007

GRADING PLAN

PROFESSIONAL STAMP

CIVIL ENGINEER  
**CWC**  
CWC CONSULTING GROUP  
CIVIL ENGINEERING • LAND SURVEYING •  
CONSTRUCTION SERVICES

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR  
CWC DRAWN BY: ELS  
CWC CHECKED BY: BEC  
CWC PROJECT #: 130-00027

ISSUE RECORD

|                   |            |
|-------------------|------------|
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| SDP SUBMITTAL #2  | 08/17/2017 |
| SDP SUBMITTAL #3  | 10/17/2017 |
| FINAL SUBMITTAL   | 11/29/2017 |

SHEET NUMBER

5

5 OF 14



# LITTLETON MIXED USE

LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1

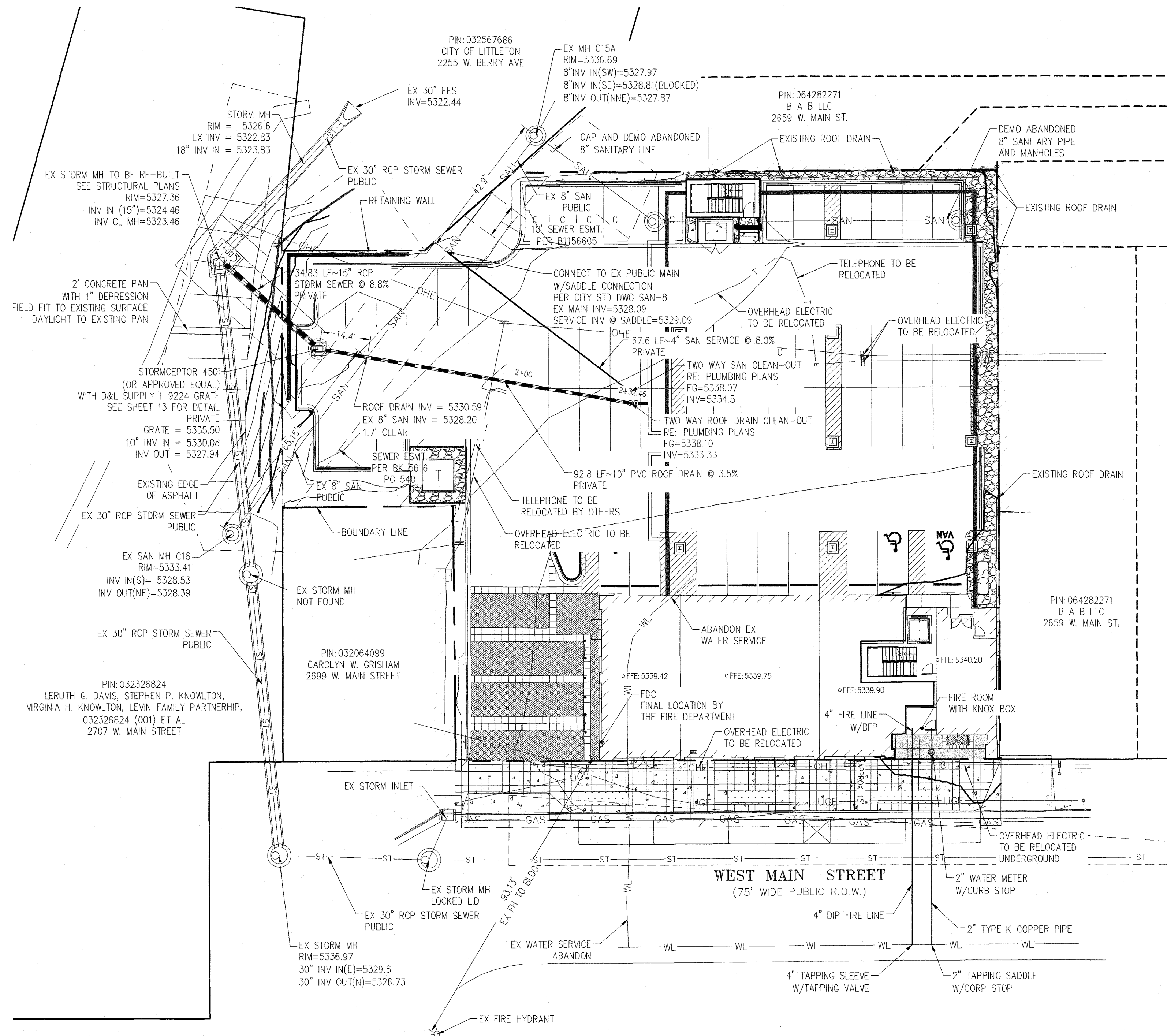
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0.718 ACRES

CASE NUMBER: SDP16-0007

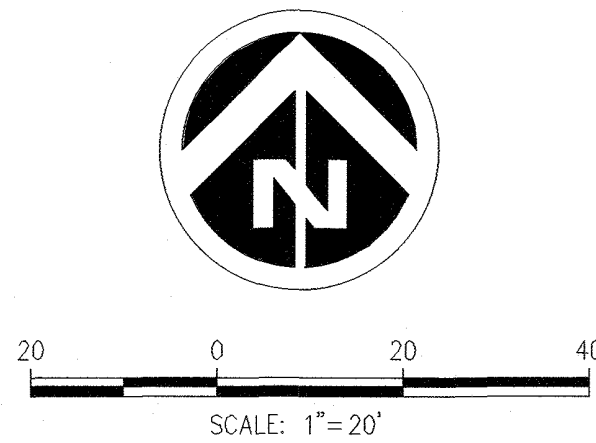
PSP16-0002

COA17-00001



## SYMBOLS AND LINETYPES LEGEND

|                                                |      |      |
|------------------------------------------------|------|------|
| EX. WATERLINE W/ VALVE & TEE                   | WL   | WL   |
| EX. SANITARY SEWER W/ MANHOLE                  | ST   | ST   |
| EX. STORM SEWER W/ INLET & F.E.S.              | ST   | ST   |
| EX. UNDERGROUND ELECTRICITY LINE               | UG   | UG   |
| EX. OVERHEAD ELECTRICITY LINE                  | OHE  | OHE  |
| EX. GAS LINE                                   | GAS  | GAS  |
| EX. TELEPHONE LINE                             | T    | T    |
| EX. EASEMENT LINE                              | E    | E    |
| EX. FIRE HYDRANT                               | HD   | HD   |
| EX. STREET LIGHT                               | SL   | SL   |
| BOUNDARY LINE                                  | BL   | BL   |
| RIGHT OF WAY LINE                              | RWL  | RWL  |
| LOT LINE                                       | LL   | LL   |
| INTERIOR LOT LINE                              | ILL  | ILL  |
| EASEMENT LINE                                  | EL   | EL   |
| WATERLINE W/ GATE VALVE & TEE                  | WL   | WL   |
| FULLY RESTRAINED WATERLINE W/ GATE VALVE & TEE | WL   | WL   |
| SANITARY SEWER W/ MANHOLE                      | ST   | ST   |
| STORM SEWER W/ INLET & F.E.S.                  | ST   | ST   |
| FIRE HYDRANT                                   | HD   | HD   |
| PROPOSED CONTOURS                              | 5800 | 5800 |
| EXISTING CONTOURS                              | 5700 | 5700 |



SITE DEVELOPMENT PLAN  
LITTLETON MIXED USE  
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CASE NUMBER: SDP16-0007  
OVERALL UTILITY PLAN

ARCHITECT / PLANNER

LAI  
Design  
Group

world wide  
88 Inverness Circle East,  
Bldg. J, Suite 101  
Englewood, Colorado 80112  
T 303.734.1777 | F 303.734.1778  
Architecture | Planning | Golf Design  
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OWNER/CLIENT

2679 MAIN STREET  
PARTNERS  
ATT: JON BENALLO  
1660 17TH STREET, STE 300  
DENVER, CO 80022  
303-606-7841

PROFESSIONAL STAMP

CIVIL ENGINEER  
CWC  
CWC CONSULTING GROUP  
CIVIL ENGINEERING - LAND SURVEYING -  
CONSTRUCTION SERVICES  
210 FRONT STREET  
DARTMOUTH, COLORADO 80114  
TELEPHONE: 303.956.2700  
FAX: 303.956.2701

- NOTE:
1. DRY UTILITIES TO BE RELOCATED BY OTHERS.
  2. ALL DRY UTILITIES SHALL BE PLACED UNDERGROUND.
  3. A BLANKET ACCESS EASEMENT IS GRANTED TO THE CITY VIA THE PLAT DOCUMENT FOR THIS PROJECT AND SHALL BE RECORDED PRIOR TO THIS SDP ADOPTION.

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR  
CWC DRAWN BY: ELS  
CWC CHECKED BY: BEC  
CWC PROJECT #: 130-00027

## ISSUE RECORD

|                   |            |
|-------------------|------------|
| SDP PRE-SUBMITTAL | 04/25/2017 |
| SDP SUBMITTAL #1  | 05/15/2017 |
| SDP SUBMITTAL #2  | 08/17/2017 |
| SDP SUBMITTAL #3  | 10/17/2017 |
| FINAL SUBMITTAL   | 11/29/2017 |

## SHEET NUMBER

6

6 OF 14

To request marking of underground facilities



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for more information

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6/14

515-49



## LITTLETON MIXED USE

LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ARAPAHOE, STATE OF COLORADO

0.718 ACRES

CASE NUMBER: SDP16-0007

PSP16-0002

COA17-00001

## LANDSCAPE PLAN

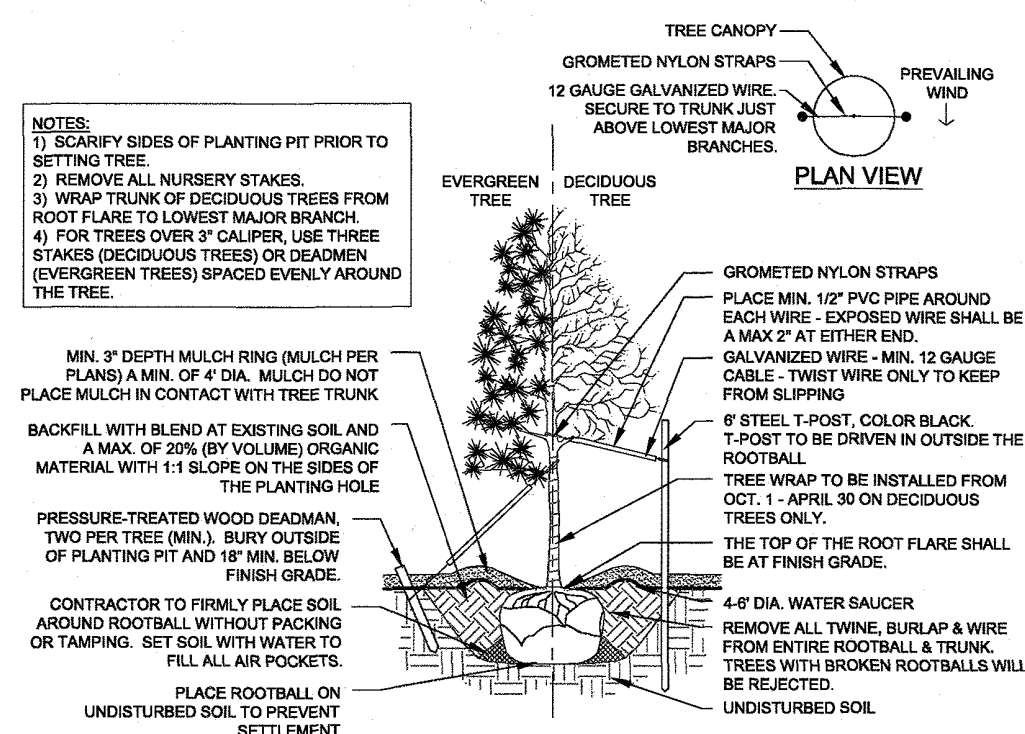
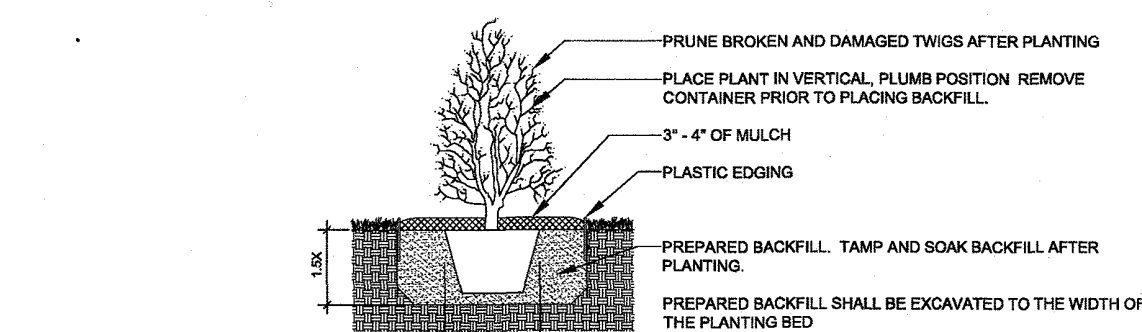
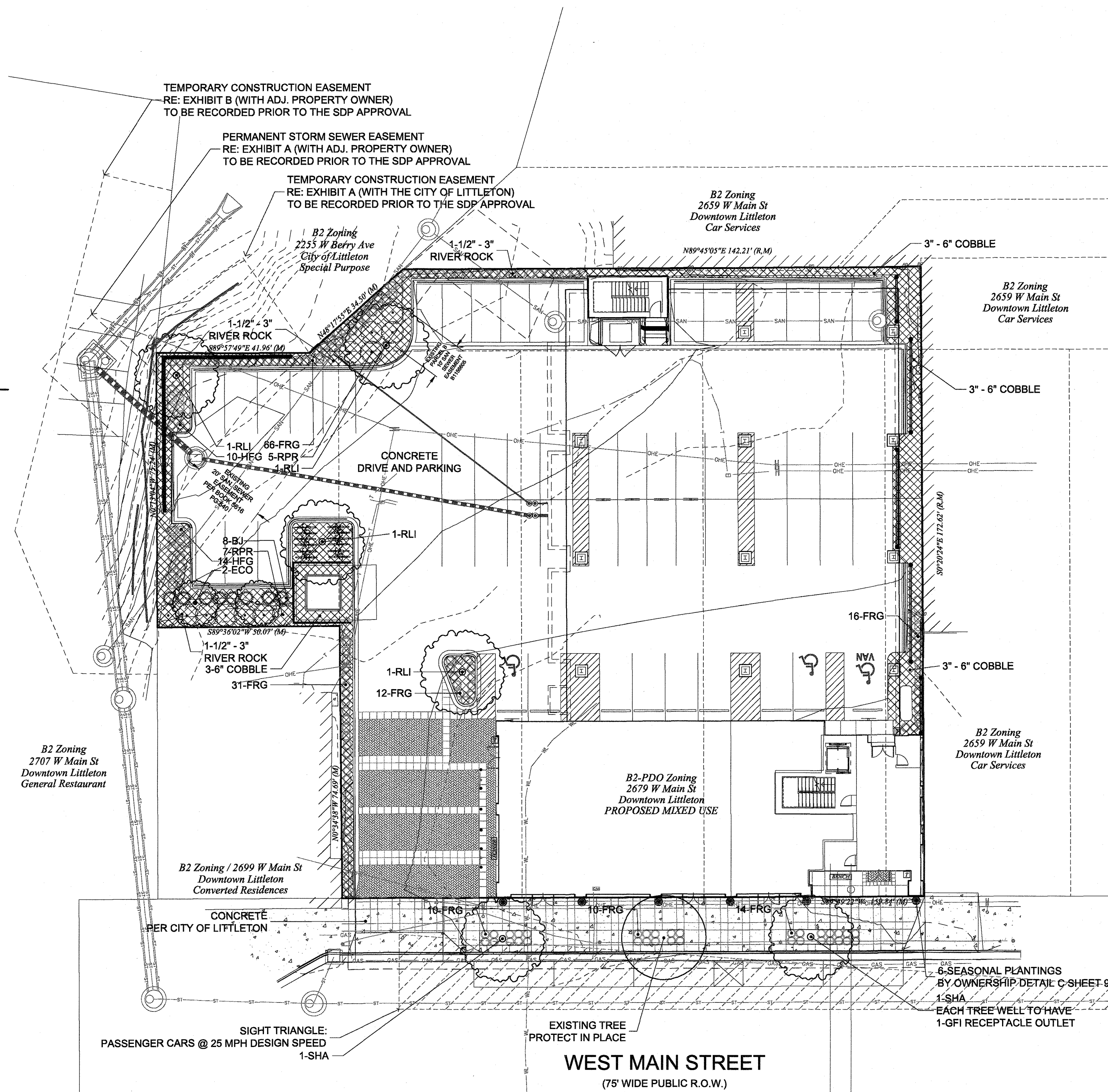
## PLANT LIST

| SYMBOL | LABEL | QTY. | COMMON NAME             | BOTANICAL NAME                              | MIN. SIZE | MATURE SPREAD | MATURE HEIGHT |
|--------|-------|------|-------------------------|---------------------------------------------|-----------|---------------|---------------|
|        | SHA   | 2    | SHADEMASTER HONEYLOCUST | GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' | 2" CAL.   | 35'           | 50'           |
|        | RLI   | 4    | AMERICAN LINDEN         | TILIA AMERICANA 'REDMOND'                   | 2" CAL.   | 25'           | 40'           |
|        | ECO   | 2    | ENGLISH COLUMNAR OAK    | QUERCUS ROBUR 'FASTIGIATA'                  | 2" CAL.   | 15'           | 40'           |
|        | RPR   | 12   | REGAL PRIVET            | LIGUSTRUM OBTUSIFOLIUM REGELIANUM           | #5        | 5'            | 4'            |
|        | BJ    | 10   | BUFFALO JUNIPER         | JUNIPERUS SABINE 'BUFFALO'                  | #5        | 12"           | 6'            |
|        | FRG   | 159  | FEATHER REED GRASS      | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'    | #5        | 2'            | 4-5'          |
|        | HFG   | 24   | HARDY FOUNTAIN GRASS    | PENNISETUM ALOPECUROIDES 'HAMELN'           | #5        | 2'            | 2-3'          |

SYMBOLS NOT TO SCALE

## LANDSCAPE NOTES

- ALL TREES, SHRUBS, PERENNIALS, SOD, AND/OR SEED AREAS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR A 12-MONTH PERIOD AFTER INITIAL ACCEPTANCE. REPLACEMENTS SHALL BE GUARANTEED AN ADDITIONAL 12-MONTHS UNTIL FINAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORN BY THE CONTRACTOR.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNER. ALL TREE AND SHRUB TAGS SHALL REMAIN ON THE PLANTS UNTIL THE TIME OF FINAL ACCEPTANCE.
- ALL TREES SHALL NOT BE PLANTED CLOSER THAN 10' TO ANY STORM PIPE, WATER LINES, OR SEWER LINE. NO TREES SHALL BE PLANTED IN DRY UTILITY EASEMENTS.
- ALL TREE RINGS IN TURF (36" DIA.) AND SHRUB BED AREAS WITH ORNAMENTAL GRASS OR PERENNIAL PLANTINGS SHALL BE MULCHED WITH DOUBLE-SHREDDED CEDAR MULCH (FRONT-RANGE MATERIALS, LANDSCAPE MULCH #16-643 OR APPROVED EQUAL) TO A DEPTH OF 4-INCHES UNLESS OTHERWISE INDICATED ON THE PLANS. COBBLE MULCH SHALL BE PROVIDED ELSEWHERE, UNLESS NOTED, AND BE MULTI-COLORED WASHED RIVER ROCK/COBBLE, WITH 3"-6" DIAMETER WHERE SHOWN ON PLANS. ALL ROCK AND COBBLE AREAS SHALL BE INSTALLED WITH COMMERCIAL GRADE WEED BARRIER FABRIC PINNED IN PLACE.
- MINOR ADJUSTMENTS IN PLANT PLACEMENT AND SPECIES MAY BE PROPOSED FOR CONSIDERATION AND LITTLETON APPROVAL AT CONSTRUCTION DOCUMENT STAGE TO RESPOND TO FIELD CONDITIONS AND PLANT AVAILABILITY. THERE SHALL BE NO REDUCTION IN PLANT MATERIAL.
- THE CONTRACTOR IS TO INSTALL AN AUTOMATIC IRRIGATION SYSTEM THAT WILL PROVIDE 100%/HEAD-TO-HEAD COVER FOR ALL LANDSCAPED AREAS. ALL PLANTING BEDS WILL HAVE DRIP IRRIGATION AND ALL LAWN AREAS WILL BE SPRAY IRRIGATED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND MUNICIPAL CODES FOR WORK NECESSARY IN IRRIGATION SYSTEM INSTALLATION. OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE AND IRRIGATION MAINTENANCE.
- ALL SHRUBS AND PERENNIALS SHALL BE MAINTAINED AT A HEIGHT OF 42" OR LESS ABOVE PAVEMENT SURFACE AND ALL TREES SHALL HAVE BRANCHES TRIMMED TO A MIN. OF 8'-0" ABOVE PAVEMENT SURFACE TO PROVIDE ADEQUATE SIGHT DISTANCES AT ALL INTERSECTIONS AND ROADWAY CURVES.
- PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL, INCLUDING SOD, APPLY A MINIMUM OF 4 CUBIC YARDS OF SOIL AMENDMENT PRODUCT PER 1,000 SQUARE FEET OF PERMEABLE AREA. THE SOIL AMENDMENT PRODUCT APPLIED TO THE PREMISES MUST BE ON THE DENVER WATER APPROVED SOIL AMENDMENT PRODUCT LIST. THIS SOIL AMENDMENT PRODUCT MUST BE INCORPORATED OR ROTOTILLED TO A DEPTH OF 4-6 INCHES

**A** DECIDUOUS TREE PLANTING DETAIL  
N.T.S.**B** SHRUB PLANTING DETAIL  
N.T.S.

## OWNERSHIP AND MAINTENANCE APPROVAL

I, JON BEHALLO, OWNER, OR DESIGNATE AGENT THEREOF, SHALL COMPLETE THE LANDSCAPE IMPROVEMENTS SHOWN ON THIS PLAN. MAINTENANCE OF THE LANDSCAPE IMPROVEMENTS SHALL COMPLY WITH TITLE 10, CHAPTER 5 OF THE LITTLETON CITY CODE. IT IS HEREBY ACKNOWLEDGED THAT MAINTENANCE OF THE LANDSCAPE IMPROVEMENTS IS NOT PERSONAL TO THE DEVELOPER, BUT RUNS WITH THE LAND AND SHALL BE THE RESPONSIBILITY OF ALL CURRENT AND FUTURE OWNER/OCCUPANTS.

SIGNATURE OF OWNER AND/OR AGENT

7/14  
515-50  
NORTH  
SCALE: 1" = 20'-0"

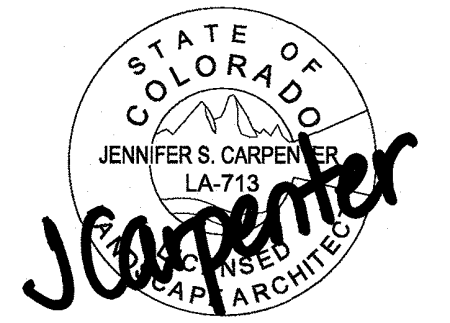
ARCHITECT / PLANNER

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OWNER/CLIENT

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PARTNERS  
ATT. JON BEHALLO  
1860 17TH STREET, STE 300  
DENVER, CO 80022  
303-606-7841SITE DEVELOPMENT PLAN  
LITTLETON MIXED USE  
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CASE NUMBER: SDP16-0007  
LANDSCAPE PLAN

PROFESSIONAL STAMP

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR

ISSUE RECORD

|                   |            |
|-------------------|------------|
| SDP PRE-SUBMITTAL | 04/25/2017 |
| SDP SUBMITTAL #1  | 05/15/2017 |
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| SDP SUBMITTAL #3  | 10/17/2017 |
| SDP SUBMITTAL #4  | 11/29/2017 |

SHEET NUMBER

7

7 OF 14



# LITTLETON MIXED USE

LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ARAPAHOE, STATE OF COLORADO

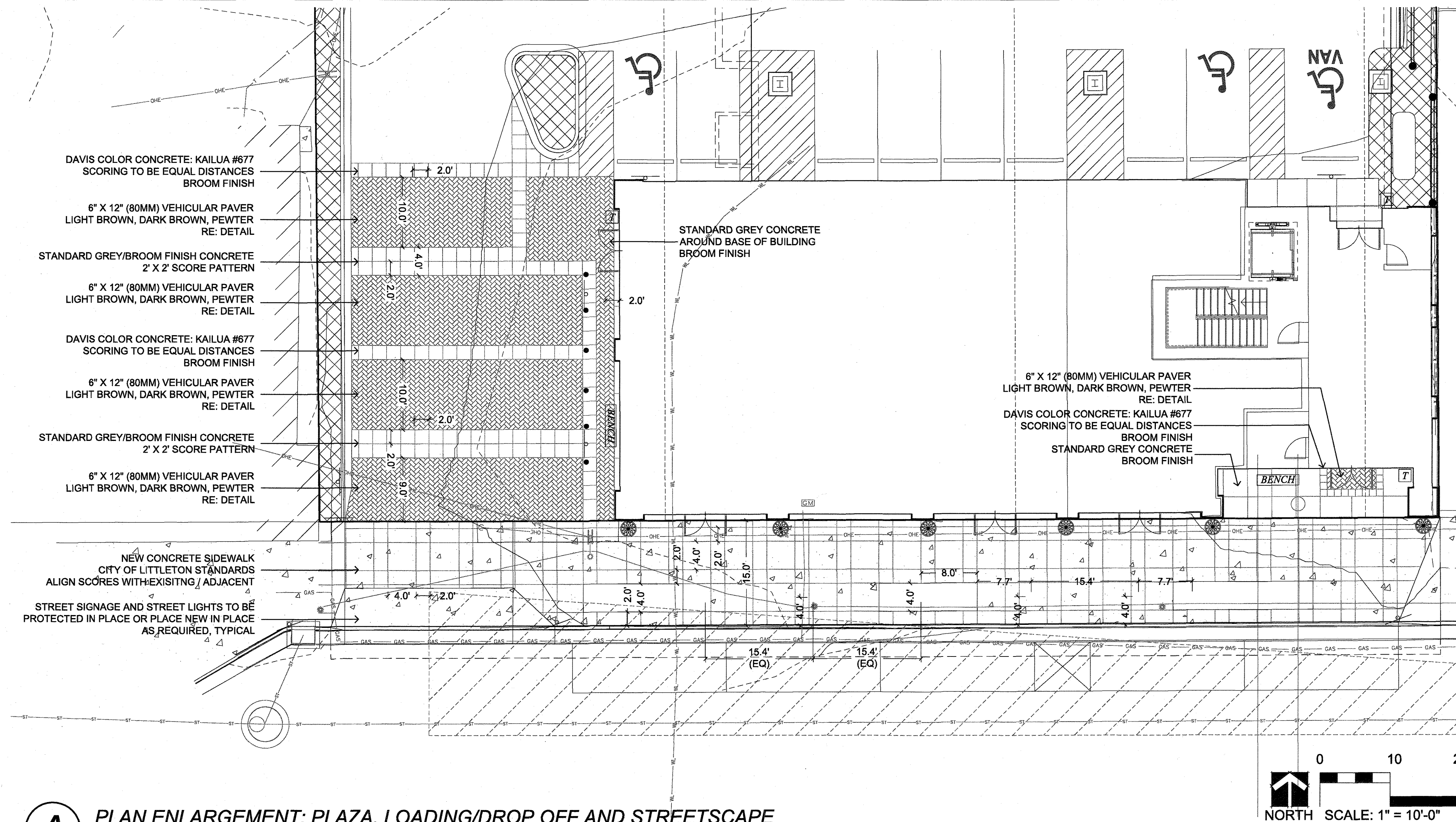
0.718 ACRES

CASE NUMBER: SDP16-0007

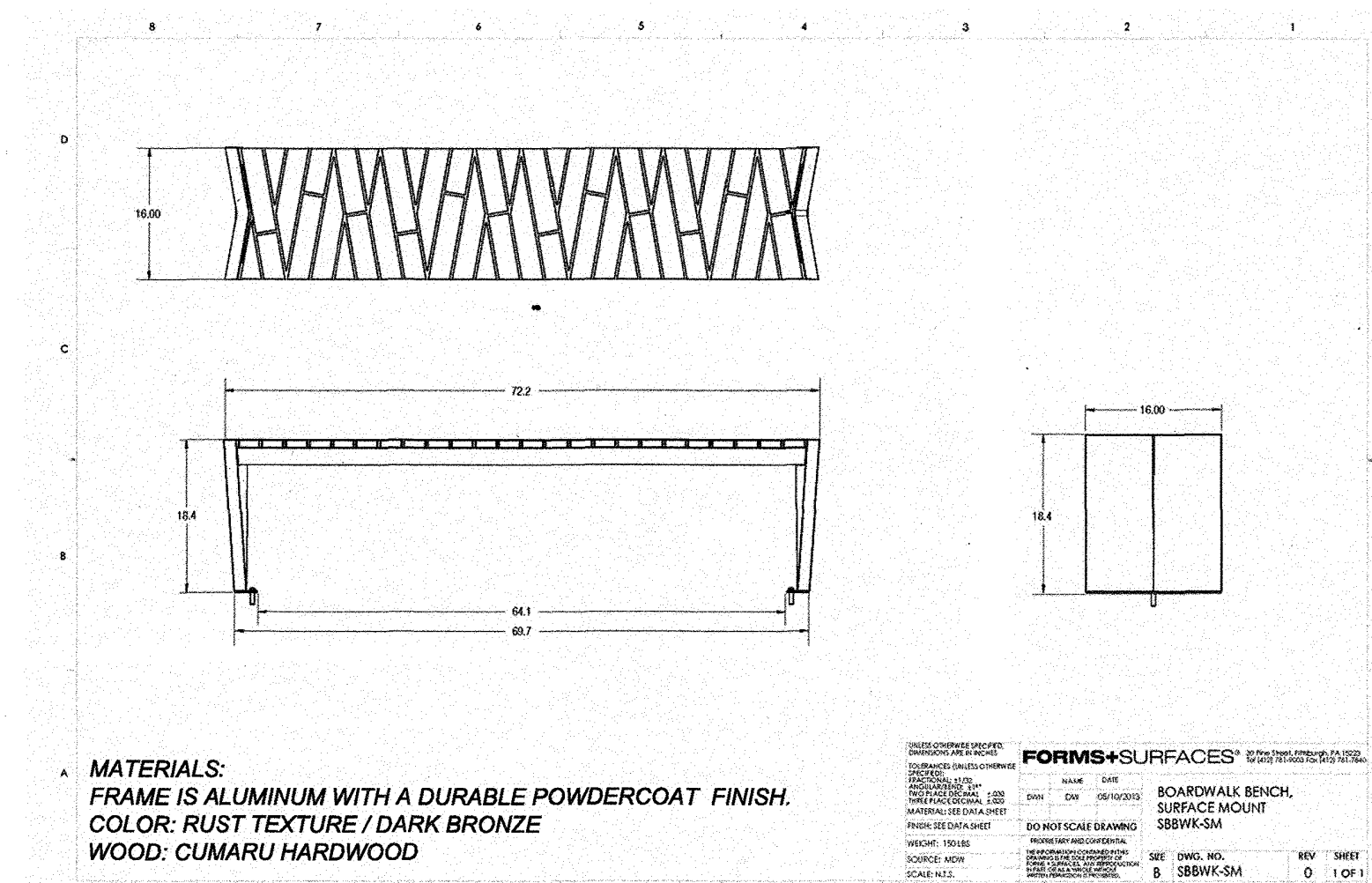
PSP16-0002

COA17-00001

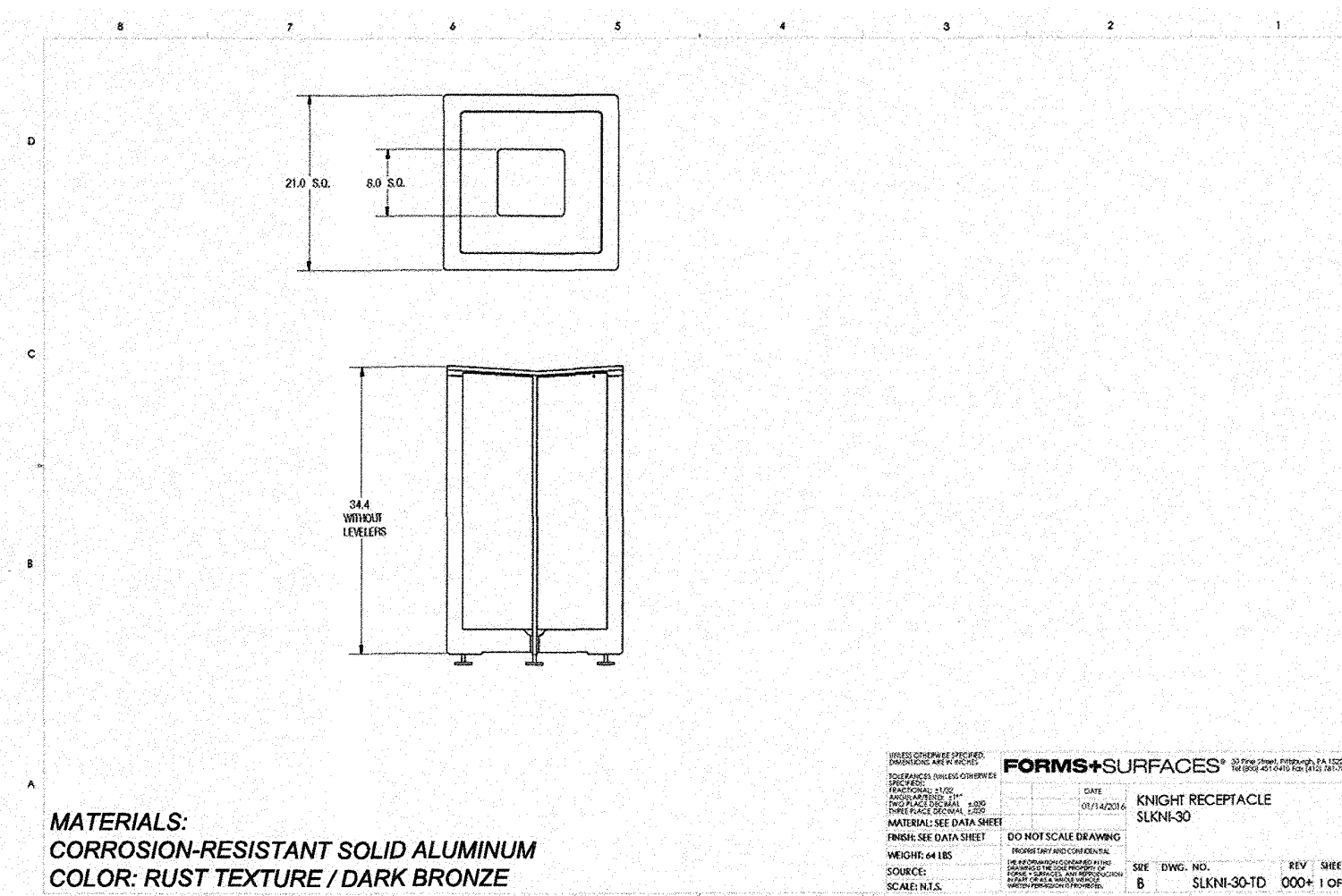
## SITE DETAILS



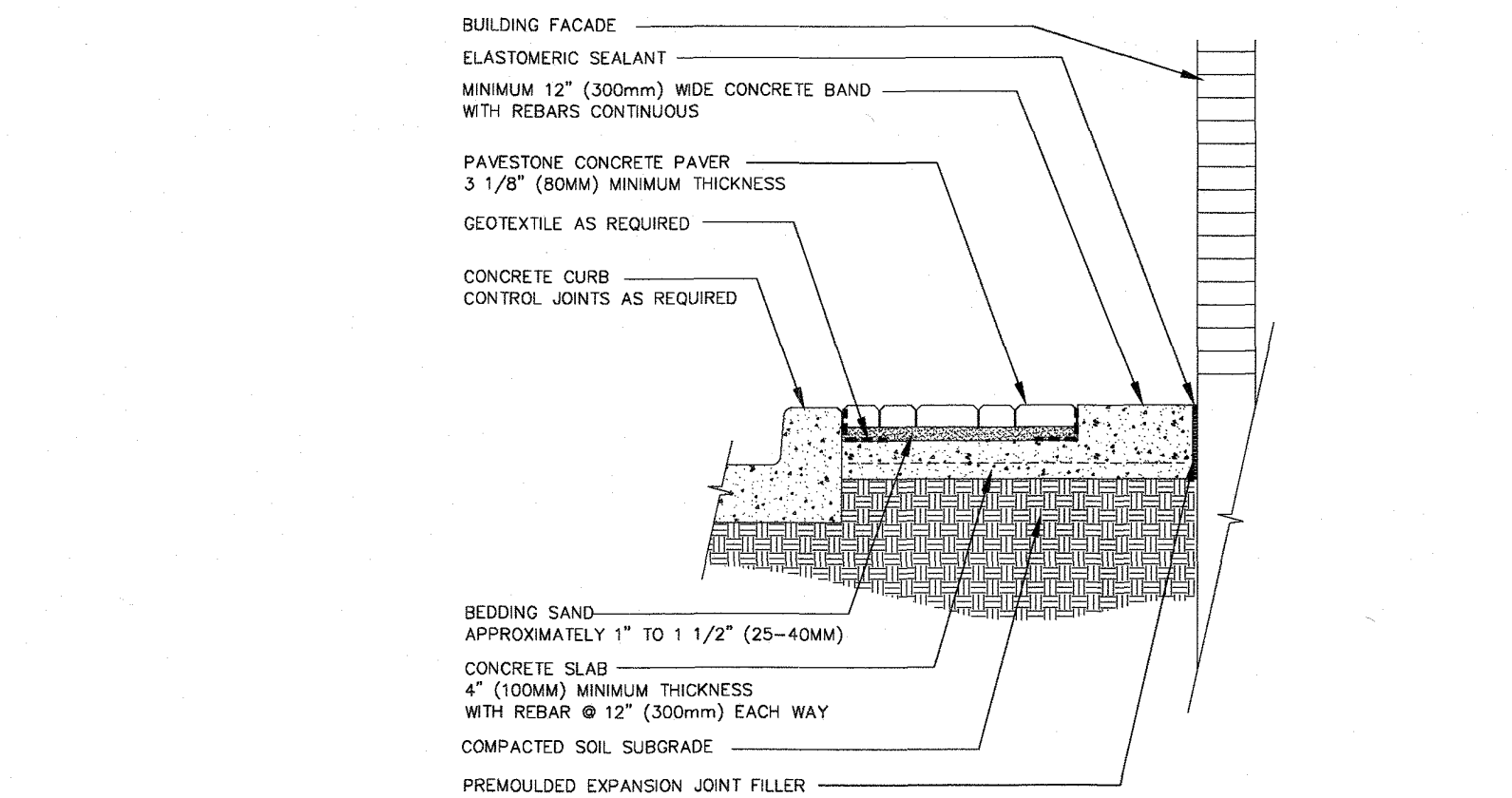
**A** PLAN ENLARGEMENT: PLAZA, LOADING/DROP OFF AND STREETScape  
SCALE: 1" = 10'-0"



**D** BENCH - QTY. 2  
N.T.S.

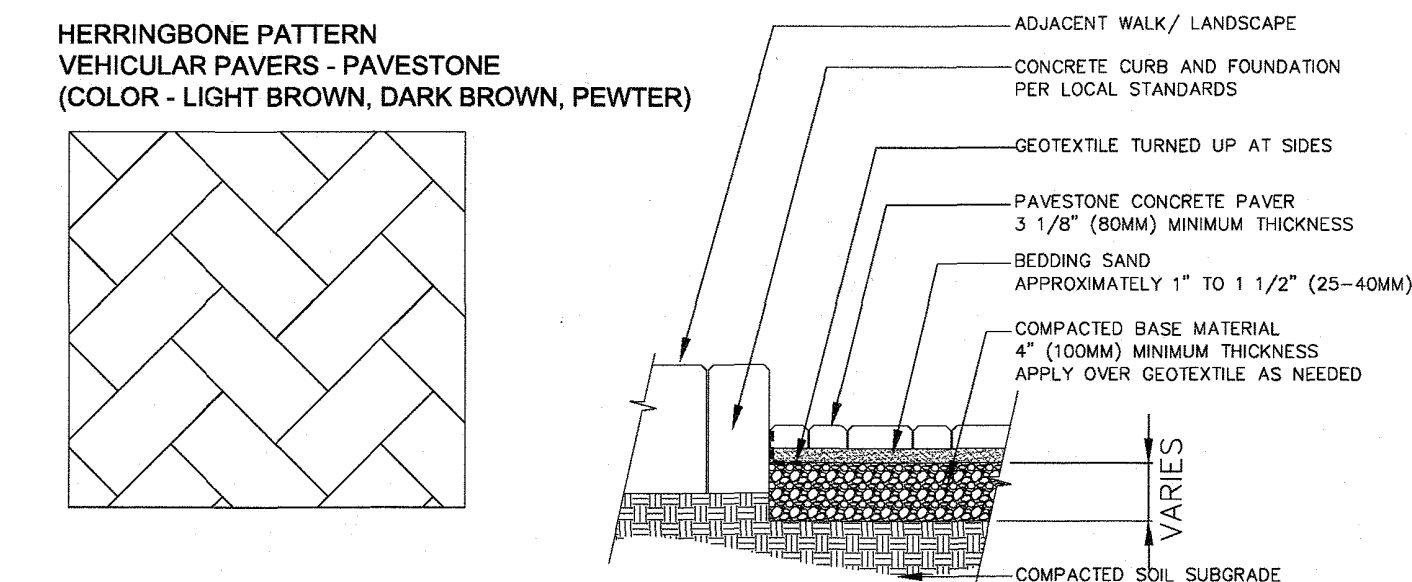


**E** TRASH RECEPTACLE - QTY. 3  
N.T.S.

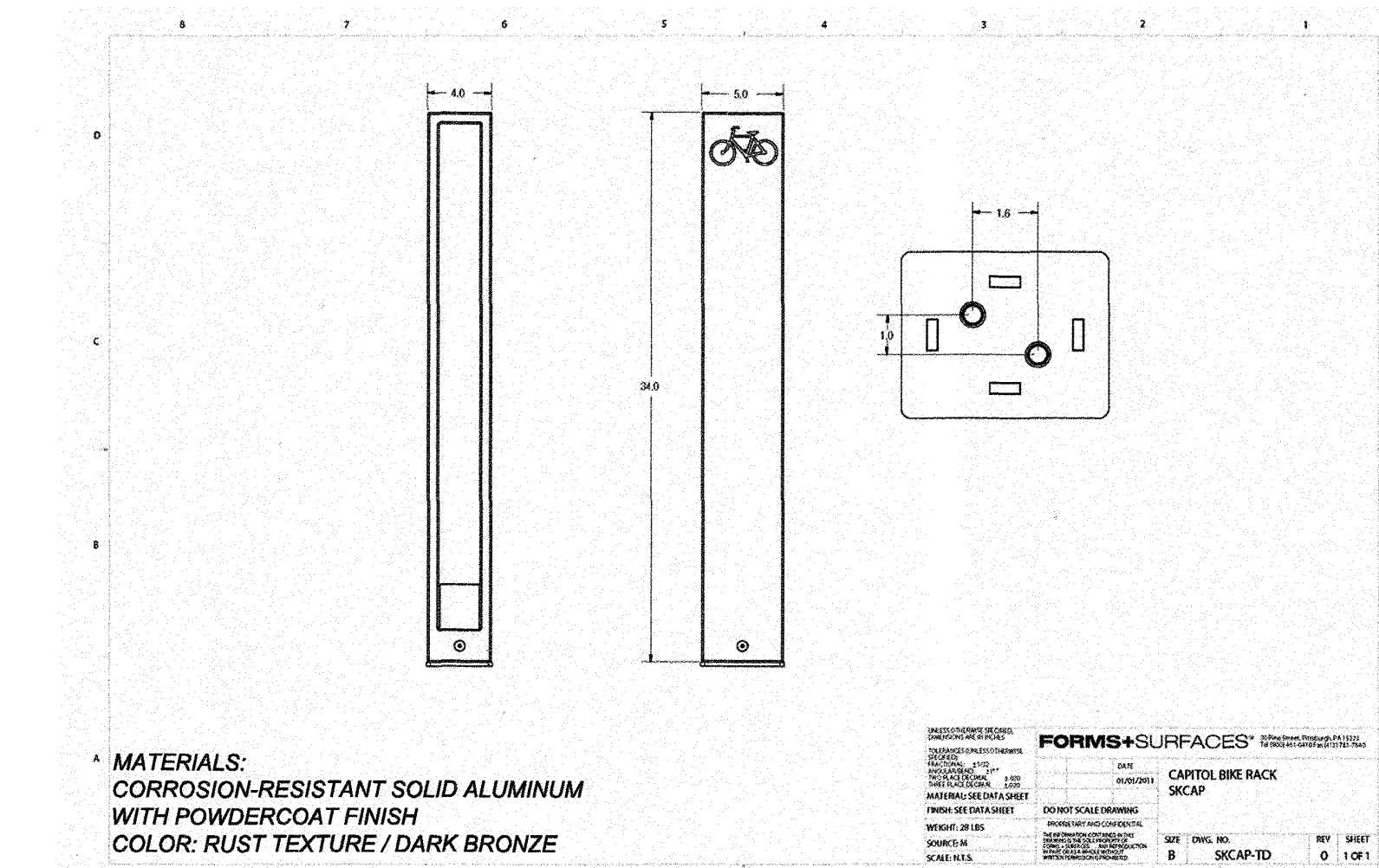


**B** VEHICULAR PAVERS AT CONCRETE EDGE/BUILDING  
N.T.S. CONCRETE - LOCAL MANUFACTURER  
(COLOR - STANDARD GRAY AND KAILUA / FINISH: BROOM)

**VENDOR REPS:**  
GENERAL SHALE BRICK, INC.  
1845 WEST DARTMOUTH AVE  
DENVER, CO 80110  
303-783-3005 | C 720-314-3005 | F 303-781-1818



**C** VEHICULAR PAVERS ON COMPACT BASE  
N.T.S.



**F** BIKE RACK - QTY. 3  
N.T.S.

ARCHITECT / PLANNER

**LAI**  
Design  
Group

world wide  
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PARTNERS  
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DENVER, CO 80022  
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SITE DEVELOPMENT PLAN  
LITTLETON MIXED USE  
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CASE NUMBER: SDP16-0007  
SITE DETAILS

PROFESSIONAL STAMP

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR

ISSUE RECORD

| SDP PRE-SUBMITTAL | 04/25/2017 |
|-------------------|------------|
| SDP SUBMITTAL #1  | 05/15/2017 |
| SDP SUBMITTAL #2  | 08/17/2017 |
| SDP SUBMITTAL #3  | 10/17/2017 |
| SDP SUBMITTAL #4  | 11/29/2017 |

SHEET NUMBER

8

8 OF 14

515-51

8/14



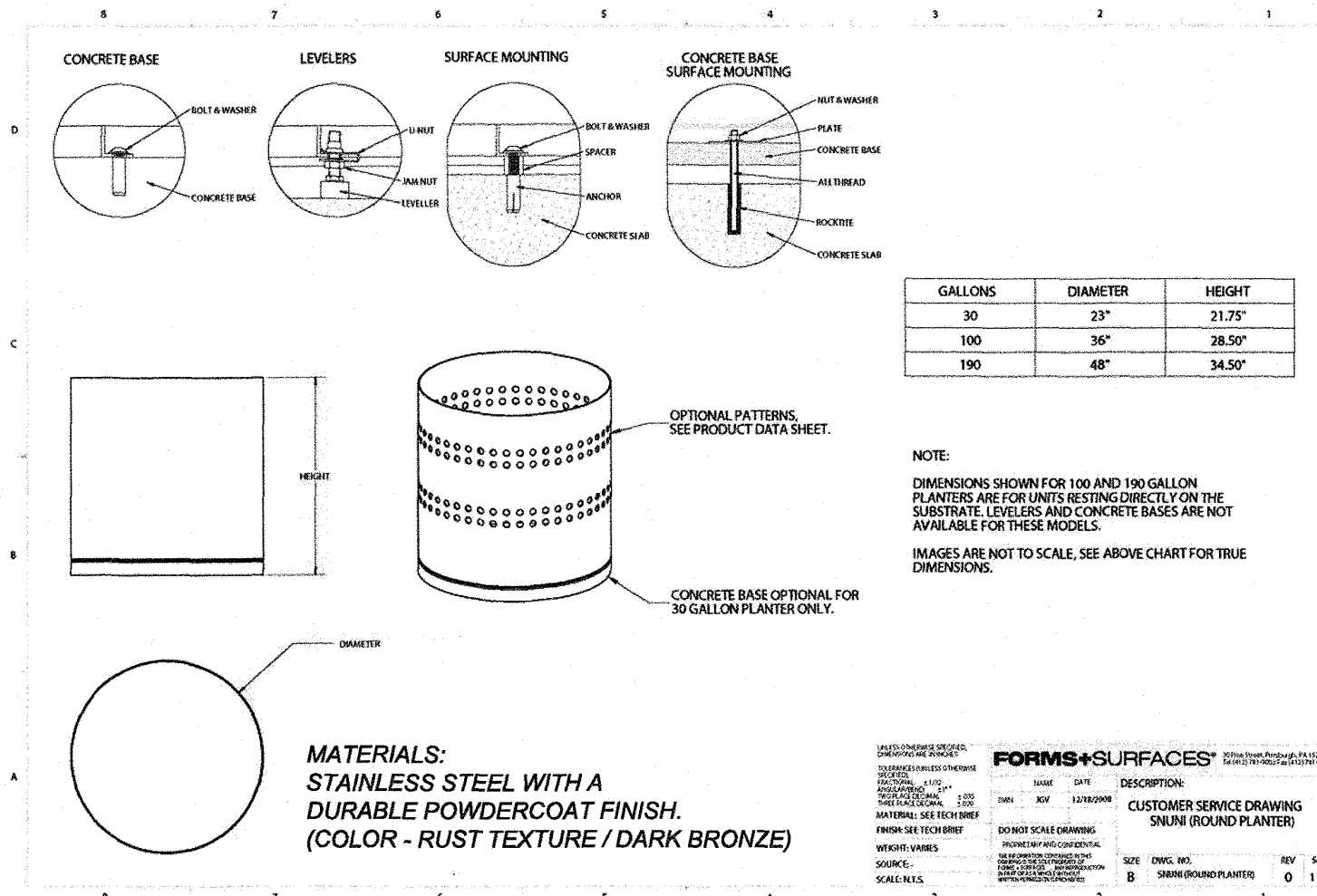
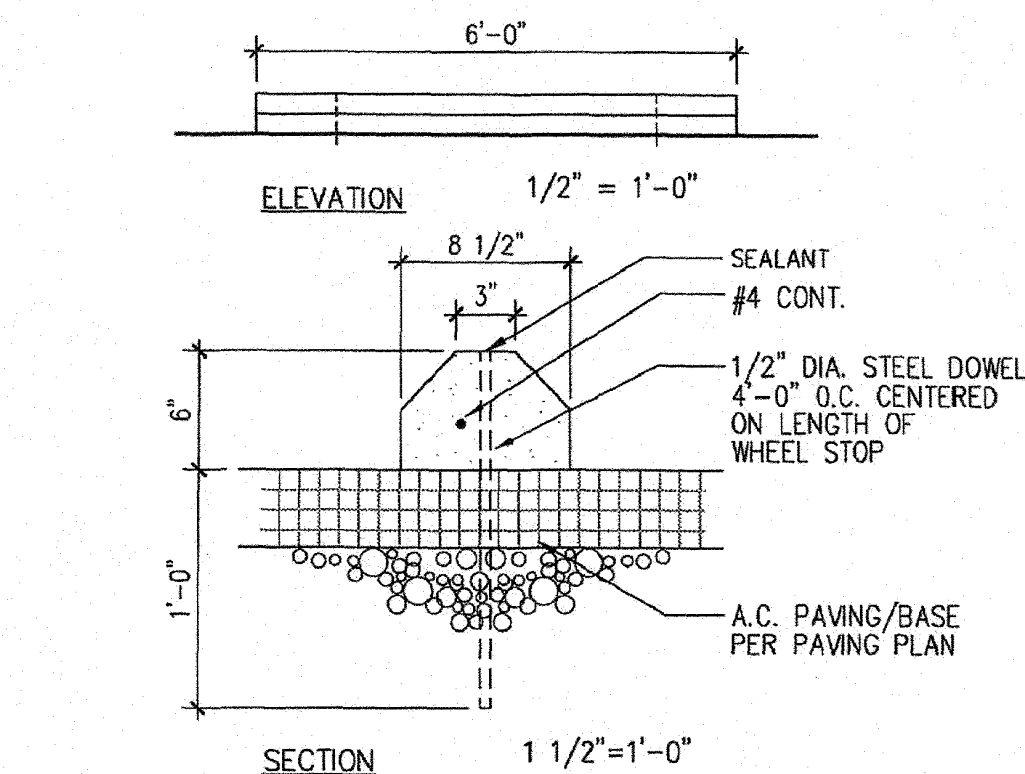
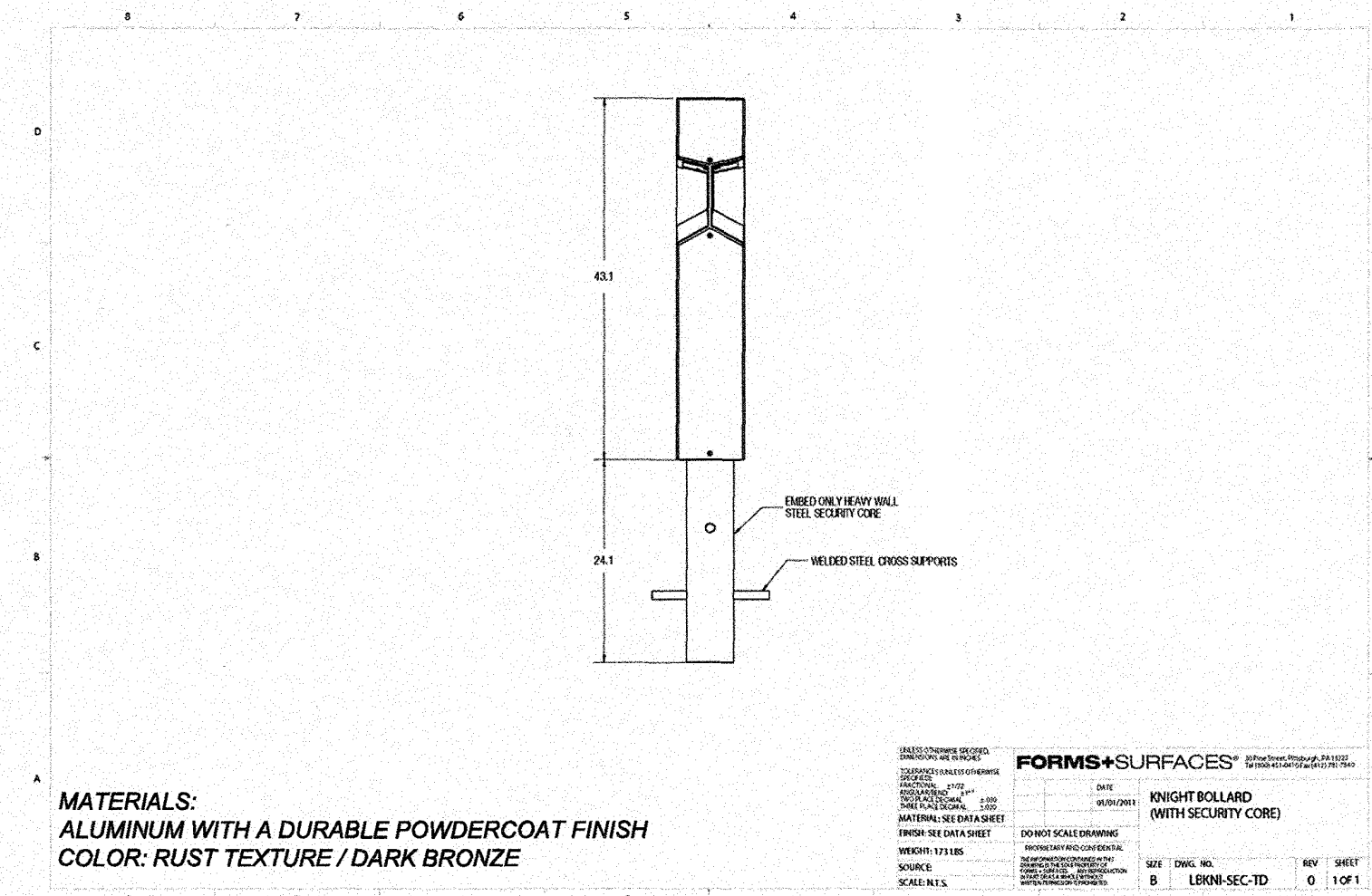
# LITTLETON MIXED USE

LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ARAPAHOE, STATE OF COLORADO

0.718 ACRES  
CASE NUMBER: SDP16-0007

PSP16-0002  
COA17-00001

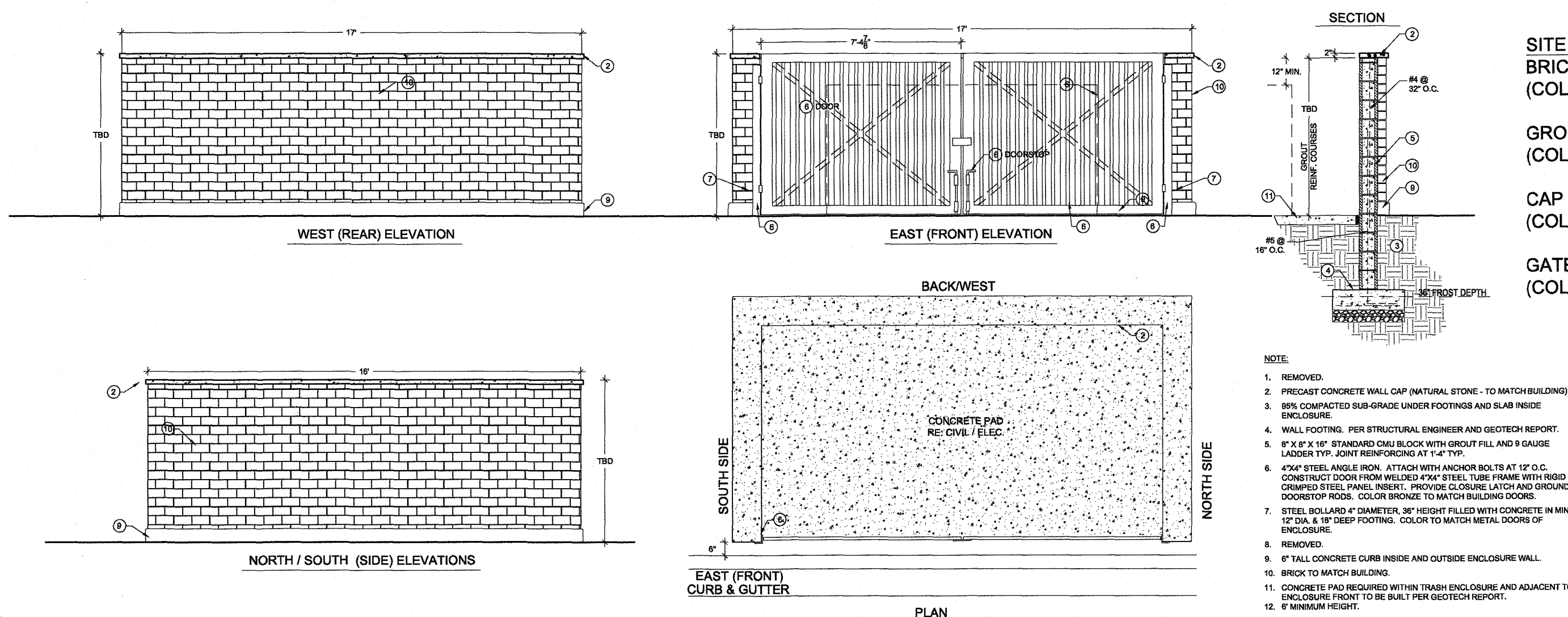
## SITE DETAILS



### A LIGHTED SECURITY BOLLARD (LOADING AREA) - QTY. 6 N.T.S.

### B PRECAST CONCRETE WHEELSTOP - QTY. 10 N.T.S.

### C PLANTERS - QTY. 6 N.T.S.

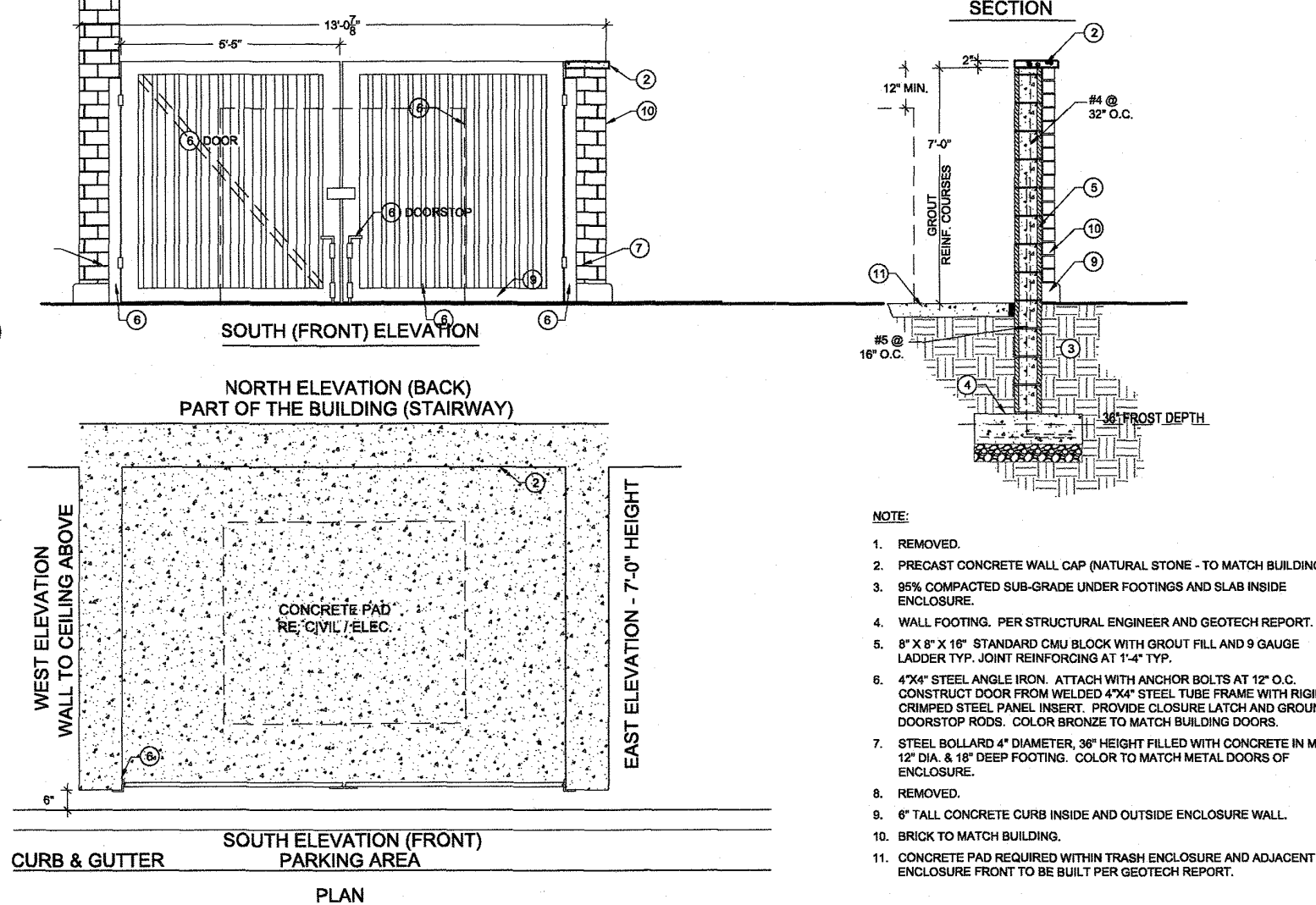


**SITE ENCLOSURES**  
BRICK 1 - CLOUD CERAMICS  
(COLOR: CHEROKEE / FINISH: SMOOTH / SIZE: MODULAR)

**GROUT - NOT SPECIFIC MANUFACTURER**  
(COLOR - SM100 - GRAY)

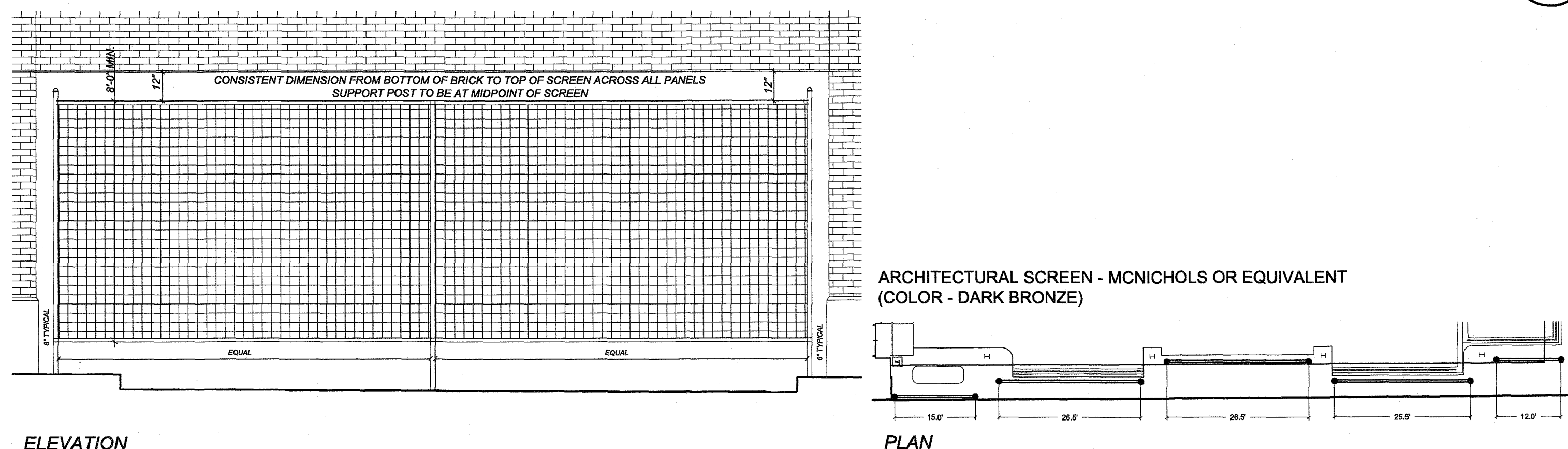
**CAP - CONTINENTAL CAST STONE**  
(COLOR - NATURAL STONE 1102 / FINISH: CHAMFER AND SMOOTH)

**GATES AND BOLLARDS - LOCAL MANUFACTURER**  
(COLOR - DARK BRONZE)



### D CMU BLOCK & BRICK TRANSFORMER ENCLOSURE N.T.S.

### E CMU BLOCK & BRICK TRASH ENCLOSURE N.T.S.



### F PAINTED METAL SCREEN DETAIL N.T.S.

ARCHITECT / PLANNER

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world wide  
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2679 MAIN STREET  
PARTNERS  
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1660 17TH STREET, STE 300  
DENVER, CO 80022  
303-606-7841

SITE DEVELOPMENT PLAN  
LITTLETON MIXED USE  
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CASE NUMBER: SDP16-0007  
SITE DETAILS

PROFESSIONAL STAMP

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR

ISSUE RECORD

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SDP SUBMITTAL #4 11/29/2017

SHEET NUMBER

9

9 OF 14

## VENDOR REPS:

FORMS + SURFACES, COLORADO  
CONTACT: NATHAN ERICKSON  
T 800.451.0410  
M 720.234.5685  
F 412.781.7840  
E NATHAN.ERICKSON@FORMS-SURFACES.COM

515-52

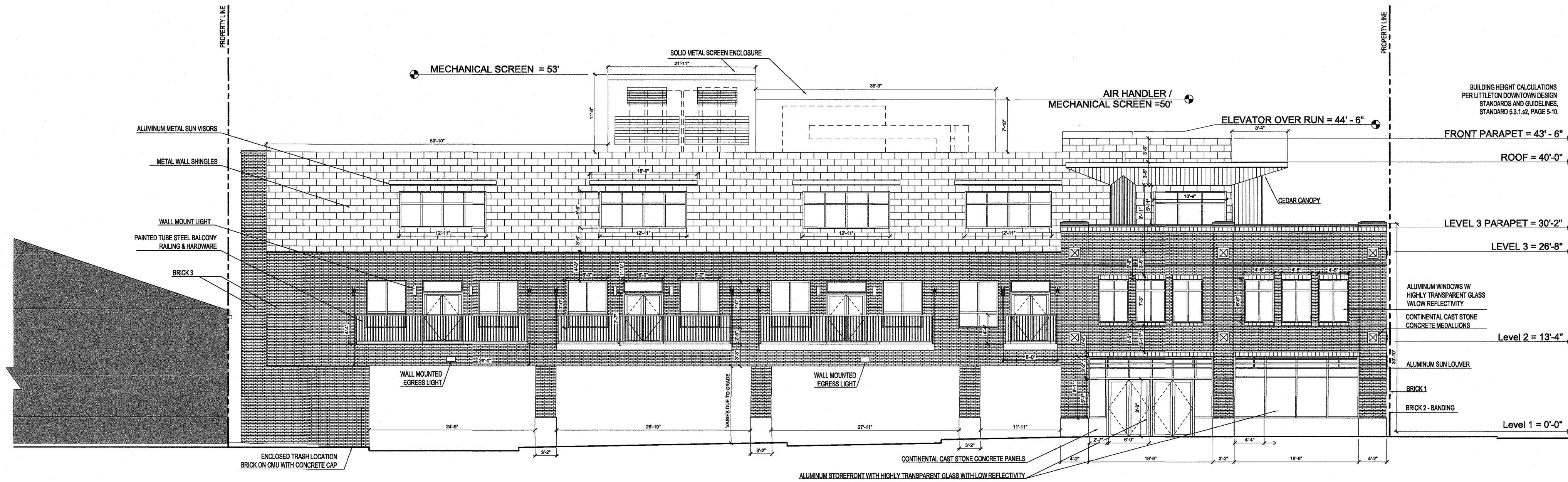
9/14



# LITTLETON MIXED USE

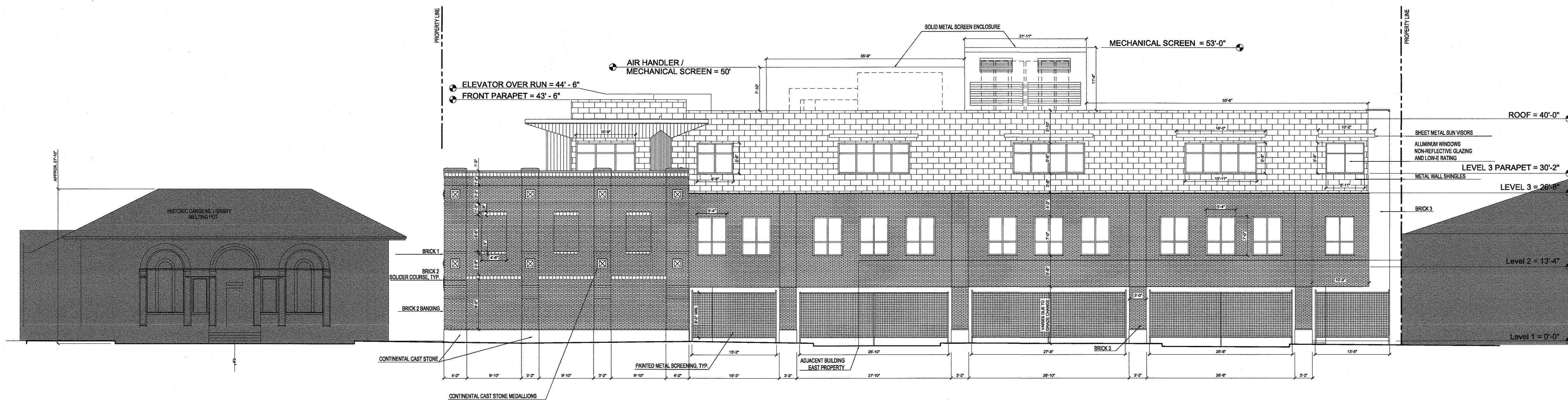
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
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0.718 ACRES  
CASE NUMBER: SDP16-0007  
PSP16-0002  
COA17-00001

## BUILDING ELEVATIONS



### WEST ELEVATION

SCALE: 3/32" = 1'-0"



### EAST ELEVATION

SCALE: 3/32" = 1'-0"

#### ELEVATION KEY NOTES:

- BUILDING ELEVATIONS ARE CONSISTENT WITH THE LITTLETON MIXED USE CERTIFICATE OF HISTORIC APPROPRIATENESS, #COA16-0003. ANY CHANGES REQUIRE PRIOR APPROVAL BY THE CITY.
- THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREON ARE INTENDED TO DEMONSTRATE HOW ALL HVAC SHALL BE SCREENED. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE THAT SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS, REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE SCREENING MAY RESULT IN DELAY OF FINAL INSPECTIONS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

## BUILDING FACADE MANUFACTURERS COLORS AND MATERIALS

- BRICK 1 - CLOUD CERAMICS  
(COLOR: CHEROKEE / FINISH: SMOOTH / SIZE: MODULAR)
- BRICK 2 - CLOUD CERAMICS  
(COLOR: CRIMSON IRONSPOT / FINISH: SMOOTH / SIZE: MODULAR)
- BRICK 3 - CLOUD CERAMICS  
(COLOR - KANSAS GOLD IRONSPOT / FINISH: VELOUR / SIZE: MODULAR)
- GROUT - NOT SPECIFIC MANUFACTURER  
(COLOR - SM100 - GRAY)
- BASE AND MEDALLION - CONTINENTAL CAST STONE  
(COLOR - NATURAL STONE 1102 / FINISH: CHAMFER AND SMOOTH)
- WINDOW SYSTEMS - MANKO OR EQUIVALENT  
(COLOR - DARK BRONZE)
- STOREFRONT FRAMING SYSTEM - MANKO OR EQUIVALENT  
(COLOR - DARK BRONZE)
- STOREFRONT - MANKO OR EQUIVALENT  
(COLOR - DARK BRONZE)
- DOOR HARDWARE - STANLEY  
(COLOR - SATIN NICKEL)
- ARCHITECTURAL GLASS - GUARDIAN SUNGUARD  
HIGHLY TRANSPARENT GLASS WITH LOW REFLECTIVITY)
- METAL WALL SHINGLES - PURE + FREEFORM  
(COLOR - GILDED RUST)
- ARCHITECTURAL SCREEN - MCNICHOLS OR EQUIVALENT  
(COLOR - DARK BRONZE)
- CEDAR CANOPY - LOCAL LUMBERYARD COMPANY  
(COLOR - NATURAL WITH CLEAR SEAL)
- METAL LINEAR PANEL (ROOFTOP) - BERRIDGE  
(COLOR - CITYSCAPE)
- SHEET METAL SUN VISORS, EYE BROWS, SIGNAGE, BALCONY POST AND RAIL  
LOCAL METAL MANUFACTURER  
(COLOR - DARK BRONZE)

ARCHITECT / PLANNER

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SITE DEVELOPMENT PLAN  
LITTLETON MIXED USE  
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CASE NUMBER: SDP16-0007  
BUILDING ELEVATIONS

PROFESSIONAL STAMP

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR

#### ISSUE RECORD

| SDP PRE-SUBMITTAL | 04/28/2017 |
|-------------------|------------|
| SDP SUBMITTAL #1  | 05/15/2017 |
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| SDP SUBMITTAL #3  | 10/17/2017 |
| SDP SUBMITTAL #4  | 11/29/2017 |

SHEET NUMBER

10

10 OF 14

## GRADE CERTIFICATION STATEMENT

I, Bryan Clerico, A LICENSED ENGINEER (INSERT LICENSE NUMBER) IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE GRADES SHOWN ON THE BUILDING ELEVATIONS ARE THE SAME AS THE GRADES SHOWN ON THE FINAL GRADING PLAN.

Bryan Clerico  
SIGNATURE OF LICENSED ENGINEER

515-53

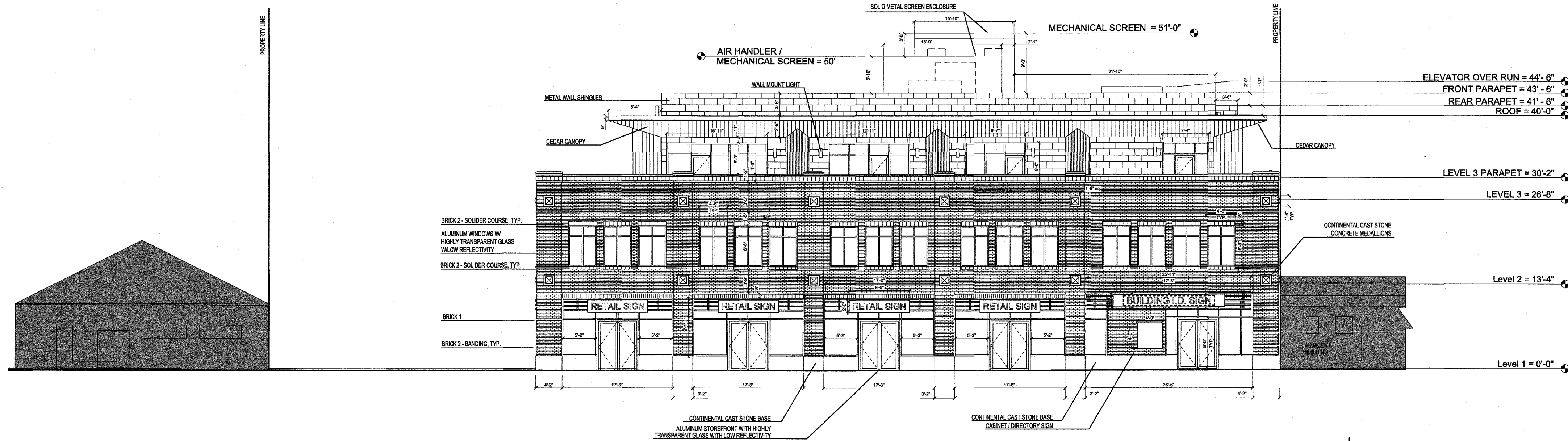
10/14



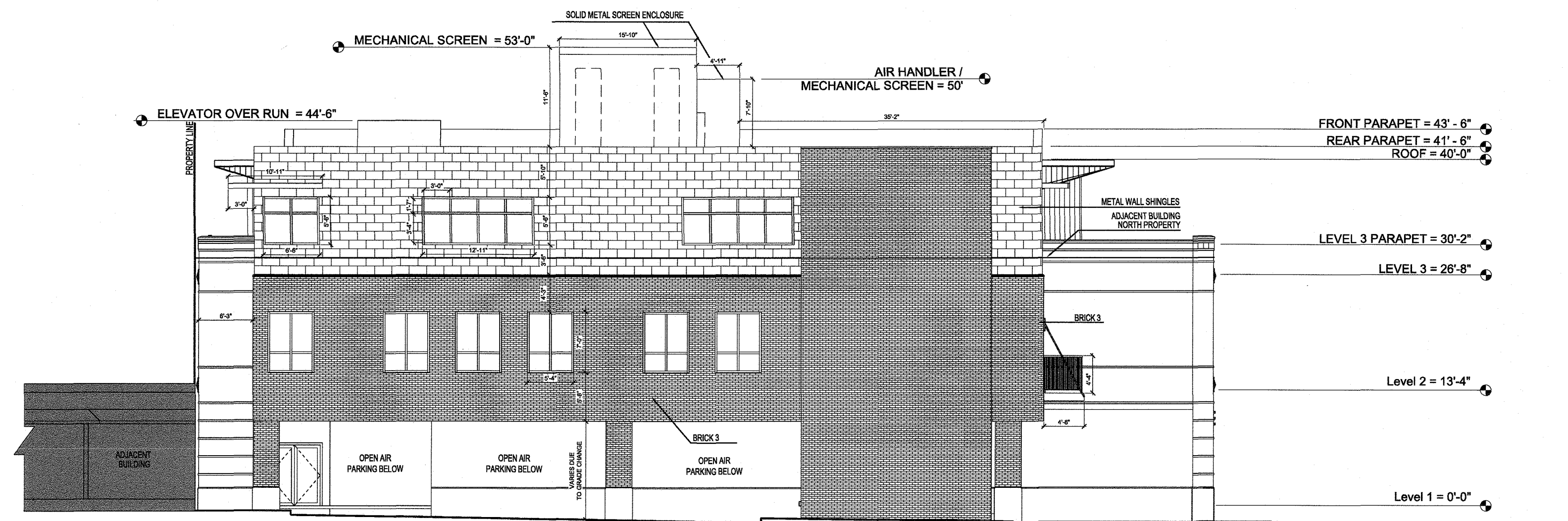
# LITTLETON MIXED USE

LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ARAPAHOE, STATE OF COLORADO  
0.718 ACRES  
CASE NUMBER: SDP16-0007  
PSP16-0002  
COA17-00001

## BUILDING ELEVATIONS



**SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"

### ELEVATION KEY NOTES:

- BUILDING ELEVATIONS ARE CONSISTENT WITH THE LITTLETON MIXED USE CERTIFICATE OF HISTORIC APPROPRIATENESS, #COA16-0003. ANY CHANGES REQUIRE PRIOR APPROVAL BY THE CITY.
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### GRADE CERTIFICATION STATEMENT

I, Bryan Clerico, A LICENSED ENGINEER [INSERT LICENSE NUMBER] IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE GRADES SHOWN ON THE BUILDING ELEVATIONS ARE THE SAME AS THE GRADES SHOWN ON THE FINAL GRADING PLAN.

Bryan Clerico  
SIGNATURE OF LICENSED ENGINEER

515-54

ARCHITECT / PLANNER

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303-606-7841

SITE DEVELOPMENT PLAN  
LITTLETON MIXED USE  
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CASE NUMBER: SDP16-0007  
BUILDING ELEVATIONS

PROFESSIONAL STAMP

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR

### ISSUE RECORD

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|-------------------|------------|
| SDP PRE-SUBMITTAL | 04/25/2017 |
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| SDP SUBMITTAL #3  | 10/17/2017 |
| SDP SUBMITTAL #4  | 11/29/2017 |

SHEET NUMBER

11

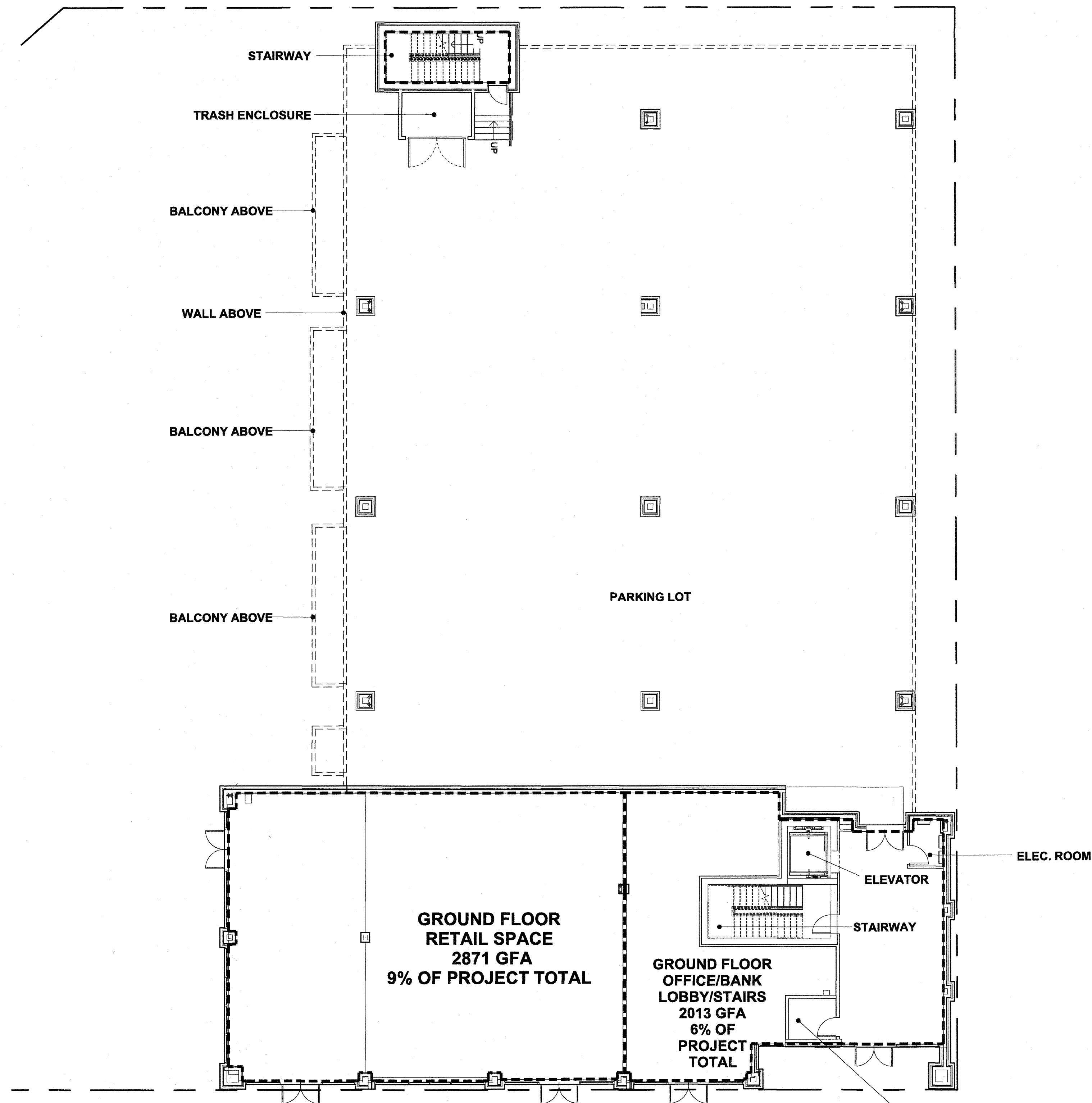
11 OF 14



# LITTLETON MIXED USE

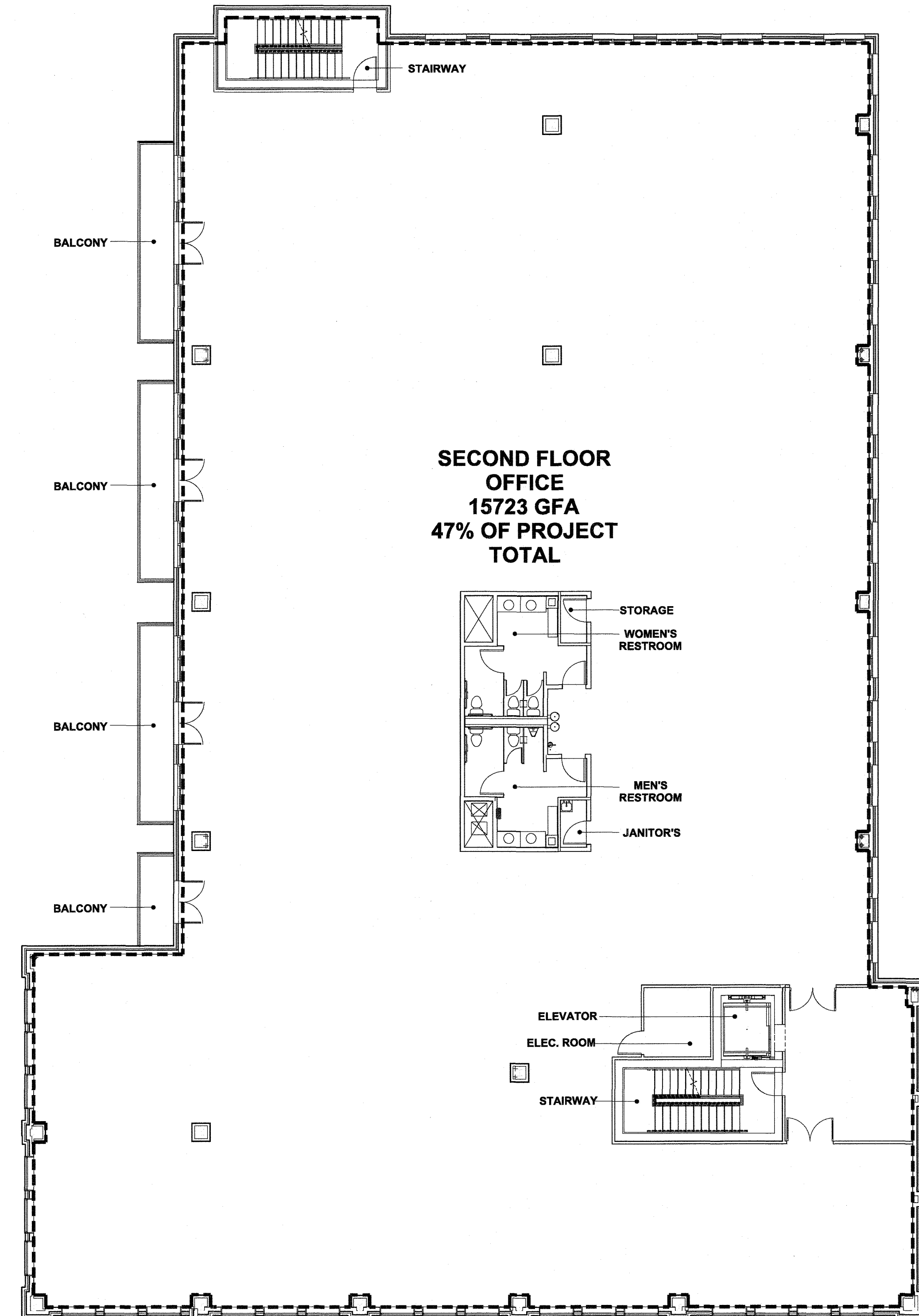
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ARAPAHOE, STATE OF COLORADO  
0.718 ACRES  
CASE NUMBER: SDP16-0007  
PSP16-0002  
COA17-00001

## FLOOR PLANS



**FIRST FLOOR**  
NORTH SCALE: 3/32" = 1'-0"  
RE: CIVIL PLANS FOR SITE INFORMATION

WEST MAIN STREET



**SECOND FLOOR**  
NORTH SCALE: 3/32" = 1'-0"

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303-606-7841

SITE DEVELOPMENT PLAN  
LITTLETON MIXED USE  
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CASE NUMBER: SDP16-0007  
FLOOR PLANS

PROFESSIONAL STAMP

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR

ISSUE RECORD

|                   |            |
|-------------------|------------|
| SDP PRE-SUBMITTAL | 04/25/2017 |
| SDP SUBMITTAL #1  | 05/15/2017 |
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SHEET NUMBER

12

12 OF 14

12/14

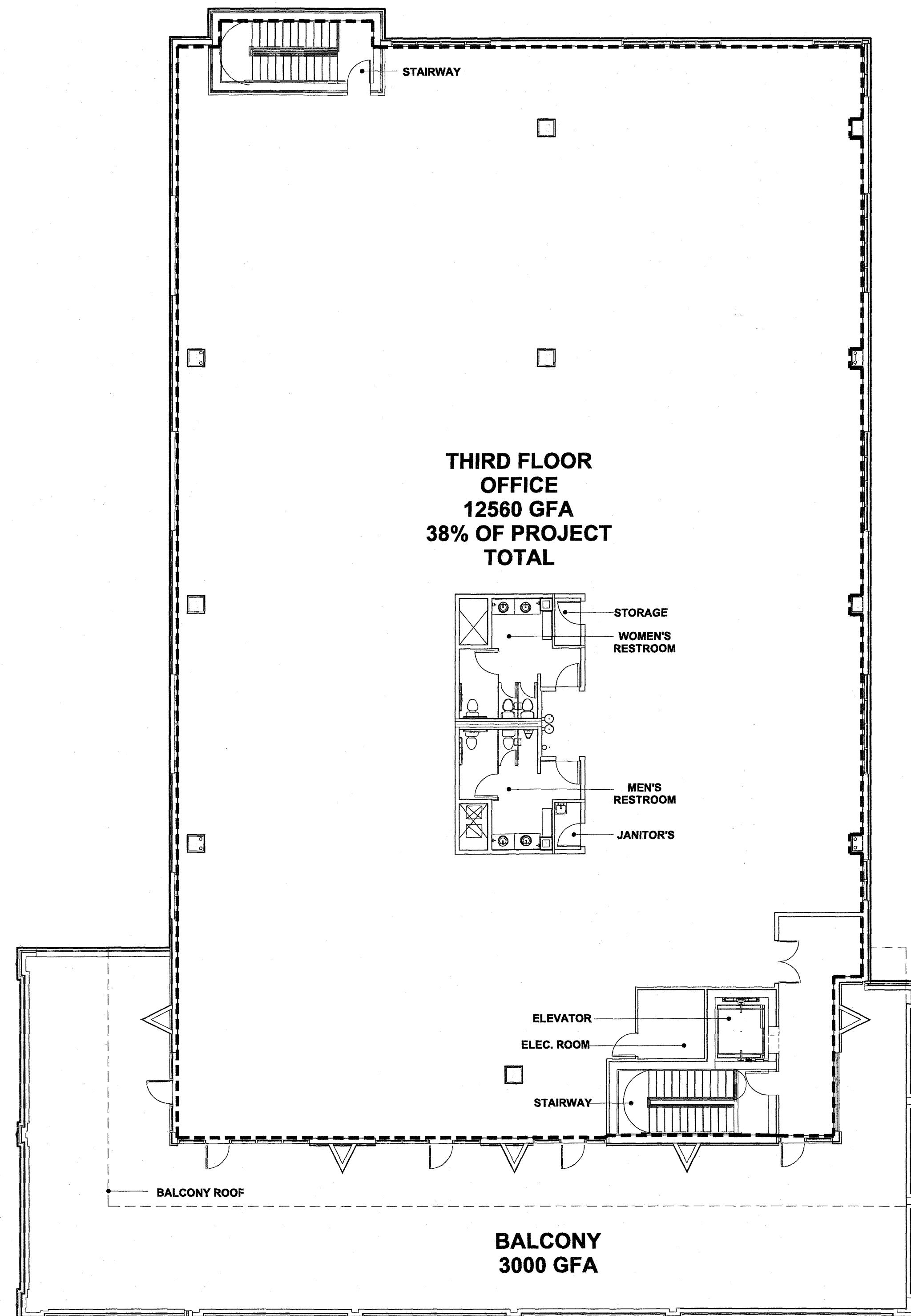
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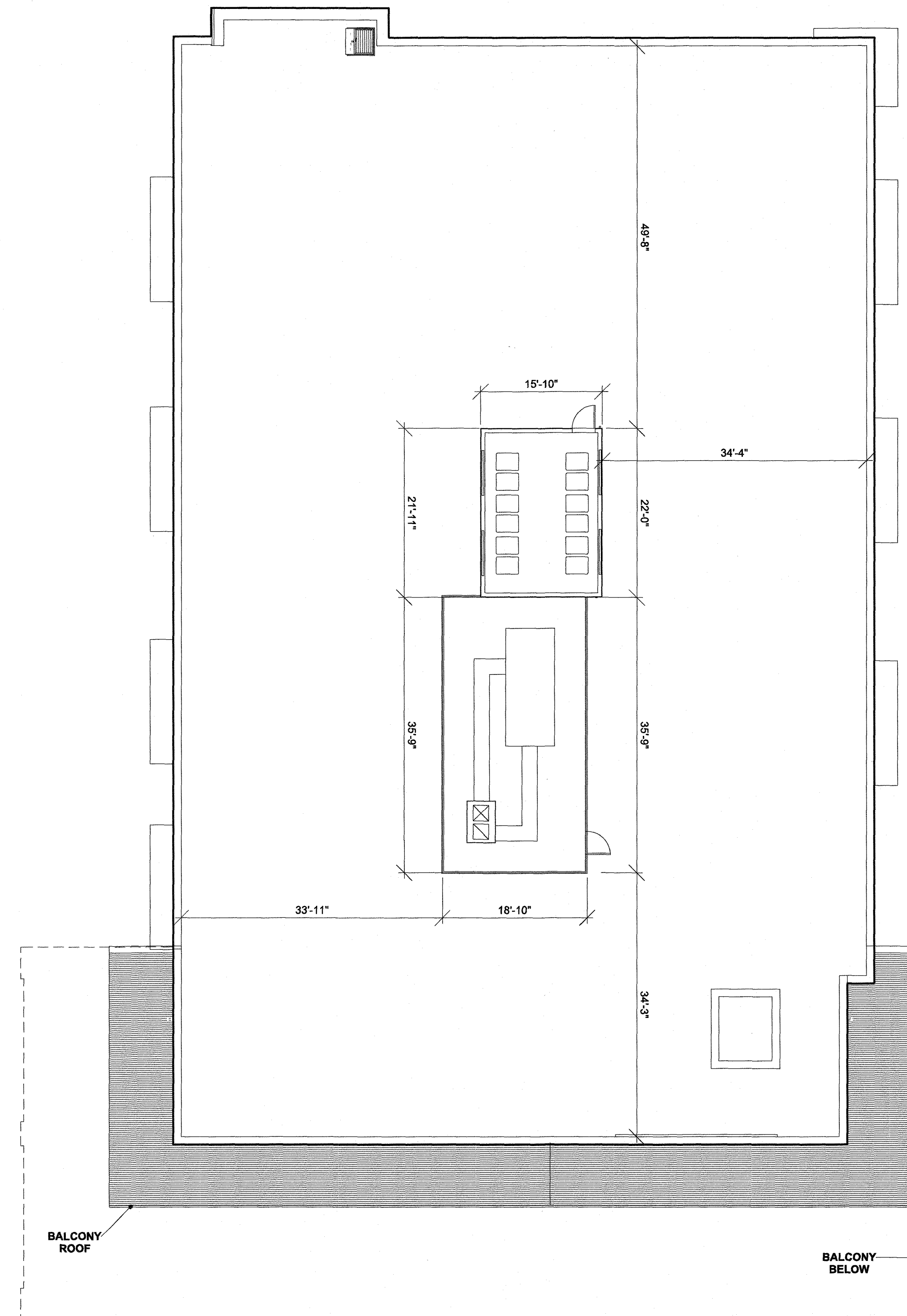
# LITTLETON MIXED USE

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A PORTION OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF ARAPAHOE, STATE OF COLORADO  
0.718 ACRES  
CASE NUMBER: SDP16-0007  
PSP16-0002  
COA17-00001

## FLOOR PLANS



**THIRD FLOOR**  
NORTH SCALE: 3/32" = 1'-0"



**ROOF PLAN**  
NORTH SCALE: 3/32" = 1'-0"

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**SITE DEVELOPMENT PLAN**  
LITTLETON MIXED USE  
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CASE NUMBER: SDP16-0007  
**FLOOR PLANS**

PROFESSIONAL STAMP

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR

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| SDP SUBMITTAL #4  | 11/29/2017 |

SHEET NUMBER

13

13 OF 14

515-56

13/14



# LITTLETON MIXED USE

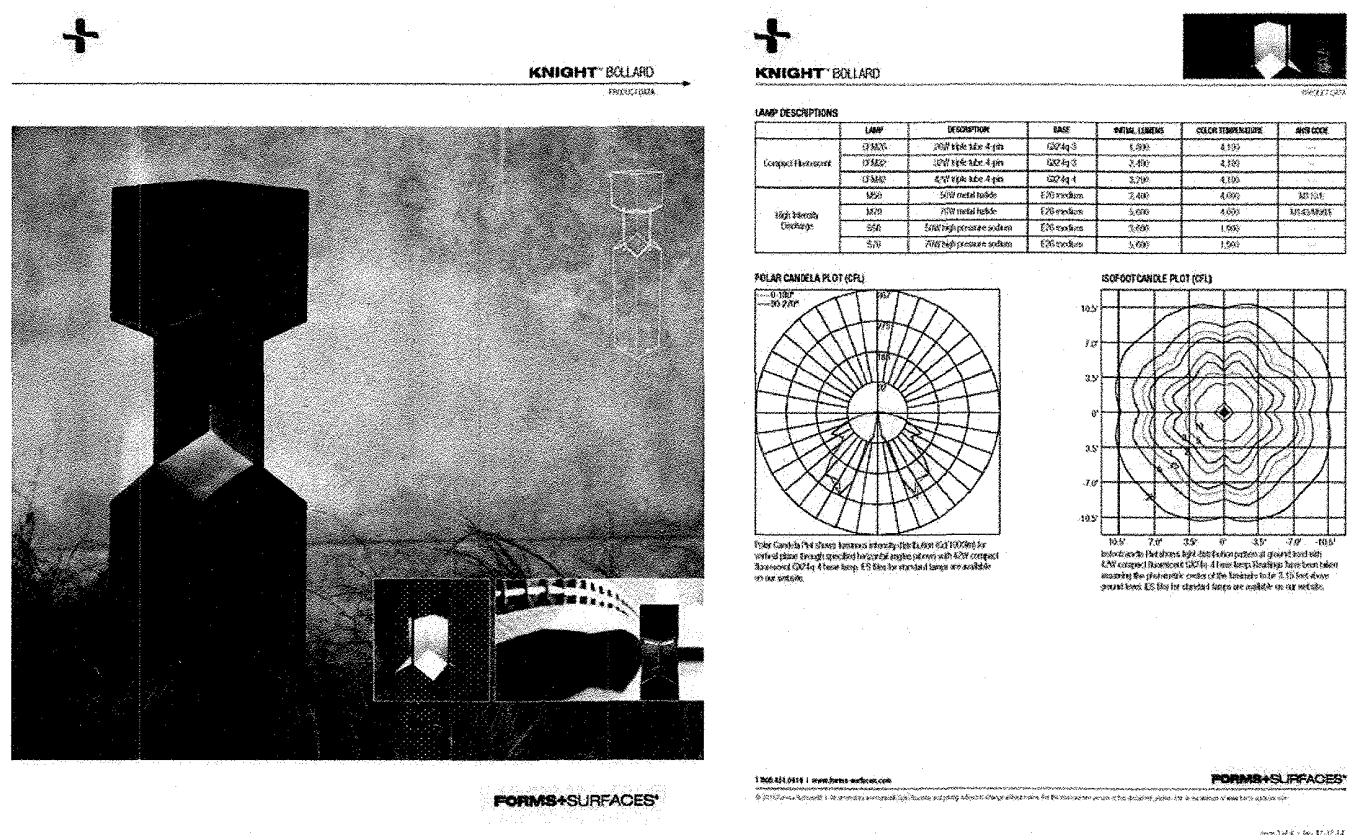
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0.718 ACRES  
CASE NUMBER: SDP16-0007  
PSP16-0002  
COA17-00001

## SITE LIGHTING PHOTOMETRIC PLAN

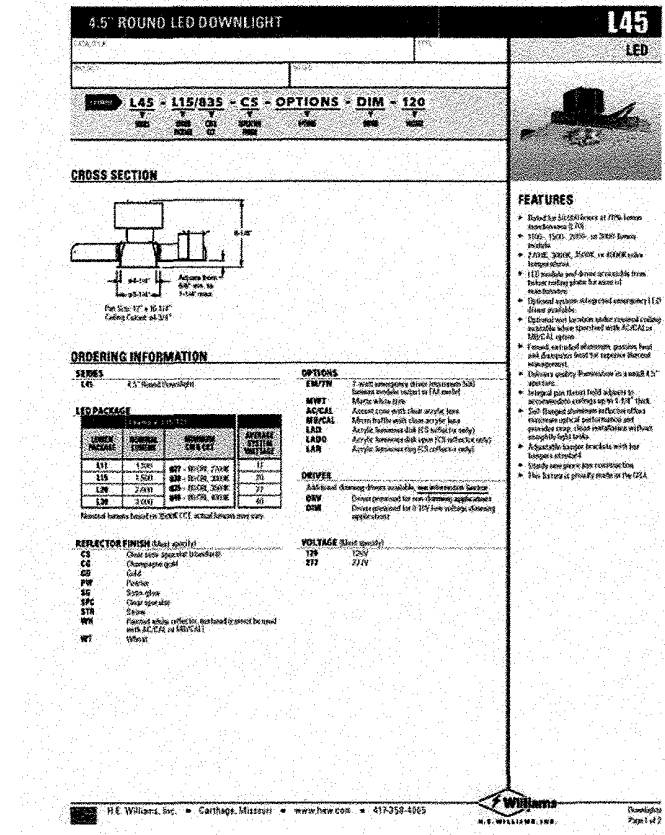
| Luminaire Schedule |       |     |           |                    |                |       |        |                                                                                                       |
|--------------------|-------|-----|-----------|--------------------|----------------|-------|--------|-------------------------------------------------------------------------------------------------------|
| Symbol             | Label | Qty | Lamp Type | Mounting Height    | Lumens (Total) | LLF   | Color  | Description                                                                                           |
|                    | ED1   | 3   | LED       | Recessed in Soffit | 313            | 1.000 | 2,700K | HE Williams Bega 55921 - 4.5" aperture LED downlight (L45-L11-830-CS-IS-AC-CAL-UNV) 17 W              |
|                    | EA4   | 3   | LED       | 12' AFG            | NA             | 1.000 | 4,000K | Spaulding Pedestrian Scale Area Light, Type 4 Dist. with Back Light Control (CL1S-48LU-4K-4-BC) 113 W |
|                    | EW2   | 3   | LED       | 8' AFG             | NA             | 1.000 | 3,000K | Spaulding Wall Mounted Egress Light, Type 4 Dist. (LMC-30LU-3K-4) 70 W                                |
|                    | EB1   | 6   | CFM       | 43" Bollard        | 1800           | 1.000 | 4,100K | Forms + Surfaces 43" Knight Bollard - square column, rustproof, sym.dist. (26W CFM) 30 W              |

### LIGHTING FIXTURES

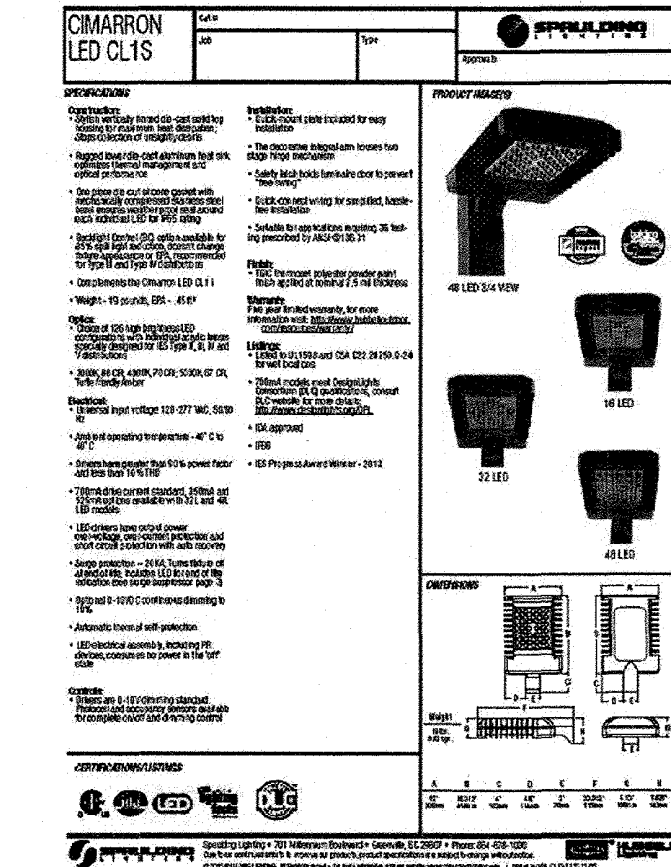
EB1



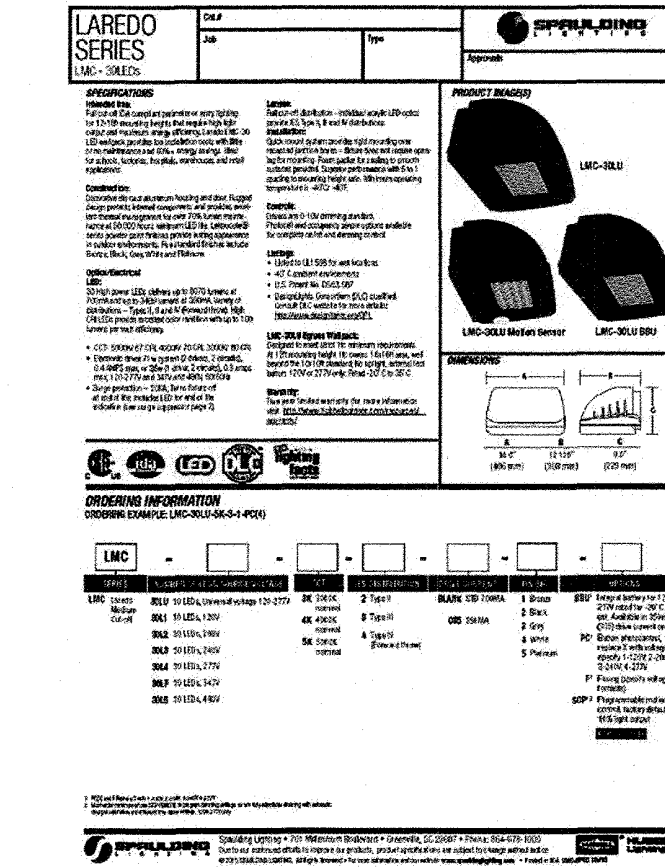
ED1



EA4



EW2

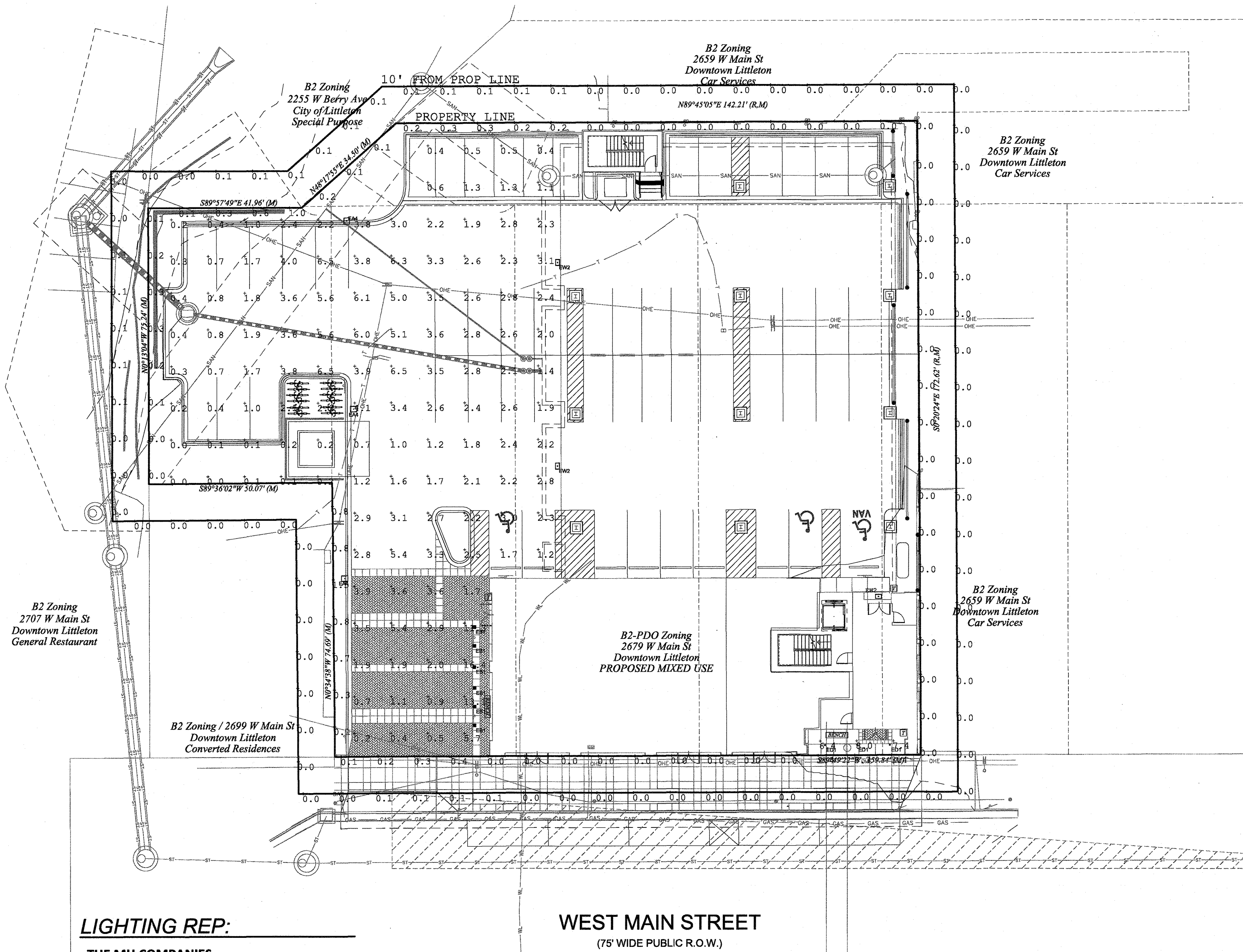


### LIGHTING NOTE

WHERE A LIGHTING SOURCE IS DIRECTLY VISIBLE, THE LUMINARIES SHALL BE DESIGNED TO INCORPORATE ELEMENTS TO REDUCE GLARE, SUCH AS TRANSLUCENT, OBSCURE, OR REFRACTING LENSES, LOW WATTAGE LIGHT SOURCES, OR SHIELDING DEVICES IN ACCORDANCE WITH THE DOWNTOWN DESIGN STANDARDS AND GUIDELINES SECTION 5.4.7.s3.

### LIGHTING CERTIFICATION

I, Katie Johnson (PHOTOMETRIC ENGINEER) HEREBY CERTIFY THAT THE ILLUMINATION LEVELS GENERATED BY THE LIGHTING MEET ALL CITY CRITERIA AS WELL AS THOSE INDICATED ON THE APPROVED ON THE SITE DEVELOPMENT PLAN; DO NOT CREATE DISABILITY GLARE ON ADJACENT PROPERTIES; AND THAT ALL FIXTURES ARE FULL CUTOFF AS DEFINED BY THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA.



### LIGHTING REP:

THE MH COMPANIES  
1044 SPEER BOULEVARD | DENVER, CO 80204  
T 303-573-0222 | F 303-573-0922  
KATIE JOHNSON | INSIDE SALES  
D 720-931-8184

ARCHITECT / PLANNER

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303-606-7841

SITE DEVELOPMENT PLAN  
LITTLETON MIXED USE  
LOT 1, BLOCK 1, VALLEY FEED FILING NO. 1  
CASE NUMBER: SDP16-0007  
SITE LIGHTING PHOTOMETRIC PLAN

PROFESSIONAL STAMP

PROJECT #: 15081  
DRAWN BY: JC  
CHECKED BY: JR

ISSUE RECORD

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SHEET NUMBER

14

14 OF 14