

BLUE RIBBON STABLES & BUSSARD MOTOR COMPANY  
CERTIFICATE OF APPROPRIATENESS

VIEWHOUSE MAIN STREET  
2670-2680 W. MAIN STREET  
LITTLETON, COLORADO 80120

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2670-80 WEST MAIN STREET, LLC.  
C/O VIEWHOUSE LODG  
2015 MARKET STREET- FLR 2  
DENVER, COLORADO 80205

APPLICANT: 2670-80 W. MAIN STREET, LLC  
2015 MARKET STREET  
DENVER, CO 80205

case no: COA17-0005

Statement of Intent

The purpose of this COA is to:

- 1) Relocate rooftop RTU location from previous COA approval and provide screening.
- 2) New fire ladder as required by building code.
- 3) New cooler and screening.
- 4) New Storefront windows with modified transom design.

OWNERS CERTIFICATION

I, FRANCOIS SAFIEDDINE, OWNER, OR DESIGNATED AGENT THEREOF, DO HEREBY AGREE THAT THE ABOVE DESCRIBED PROPERTY WILL BE DEVELOPED IN ACCORDANCE WITH THE DESIGN, MATERIALS, RESTRICTIONS AND CONDITIONS CONTAINED IN THIS COA. FURTHER, THE CITY OF LITTLETON IS HEREBY GRANTED PERMISSION TO ENTER ONTO SAID PROPERTY FOR THE PURPOSES OF CONDUCTING INSPECTIONS TO ESTABLISH COMPLIANCE OF THE DEVELOPMENT OF THE PROPERTY WITH ON-SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, EXTERIOR FACADE MODIFICATIONS AND NEW CONSTRUCTION RELATED TO THE EXTERIOR OF ANY STRUCTURE. IF, UPON INSPECTION, THE CITY FINDS DEFICIENCIES IN THE ON-SITE IMPROVEMENTS, AND AFTER PROPER NOTICE, THE DEVELOPER SHALL TAKE APPROPRIATE CORRECTIVE ACTION. FAILURE TO TAKE SUCH CORRECTIVE ACTION SPECIFIED BY THE CITY SHALL BE GROUNDS FOR THE CITY TO APPLY PENALTIES AS SPECIFIED IN SECTION 4-6-19 OF THE HISTORIC PRESERVATION CODE.

(SIGNATURE OF OWNER)

SUBSCRIBED AND SWORN BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC

APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

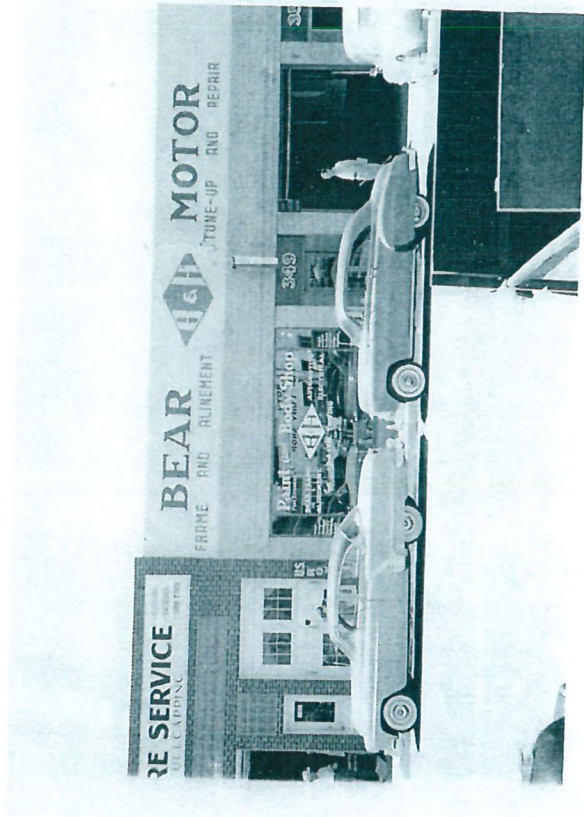
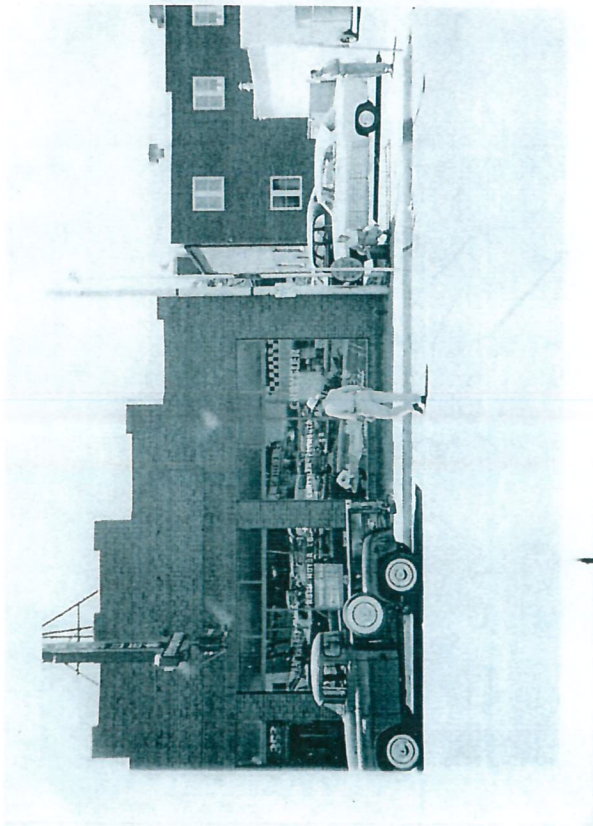
DIRECTOR OF COMMUNITY DEVELOPMENT

APPROVED BY THE HISTORICAL PRESERVATION BOARD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

CHAIR, HISTORICAL PRESERVATION BOARD

AUGUST 15 2017

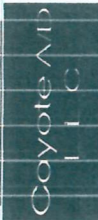
NOVEMBER 7, 2016  
DESIGN SHEET 1  
VIEWHOUSE MAINSTREET  
2670-80 W. MAIN STREET  
LITTLETON, COLORADO



PHOTOS COURTESY OF LITTLETON MUSEUM

AUGUST 15 2017

ARCHITECTURE  
1738 W. 10TH STREET  
DENVER, COLORADO 80202  
303/281-3778



HISTORIC PHOTOS



NOVEMBER 7, 2016 R  
DESIGN SHEET 2  
VIEWHOUSE MAINSTREET  
2670-80 W. MAIN STREET  
LITTLETON, COLORADO



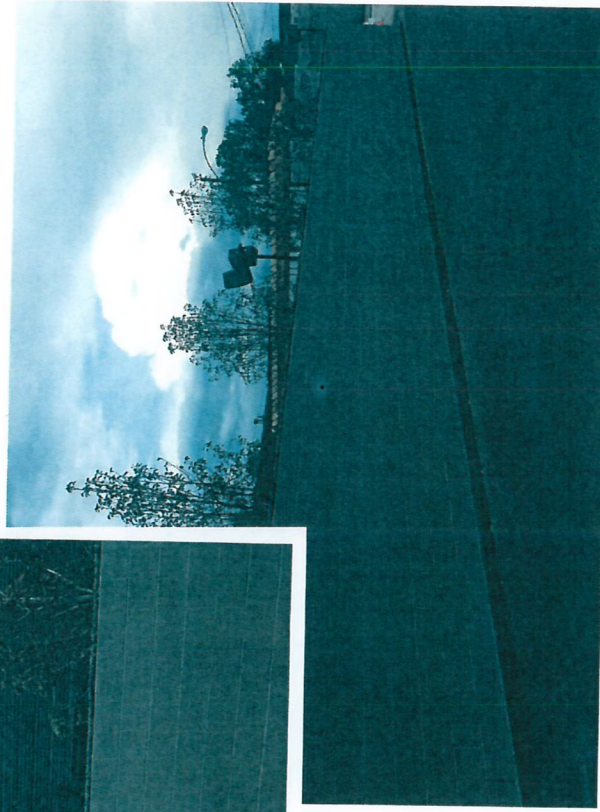
AUGUST 15 2017

NOVEMBER 7, 2016  
DESIGN SHEET 3  
VIEWHOUSE MAINSTREET  
2870-80 W. MAIN STREET  
LITTLETON, COLORADO

PHOTOS-EXISTING  
DES 3

Coyote and  
TTC

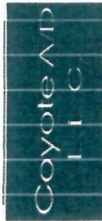
ARCHITECTURE  
1738 WINSLOW STREET  
SUITE 300  
DENVER, COLORADO 80202  
303/787-3778



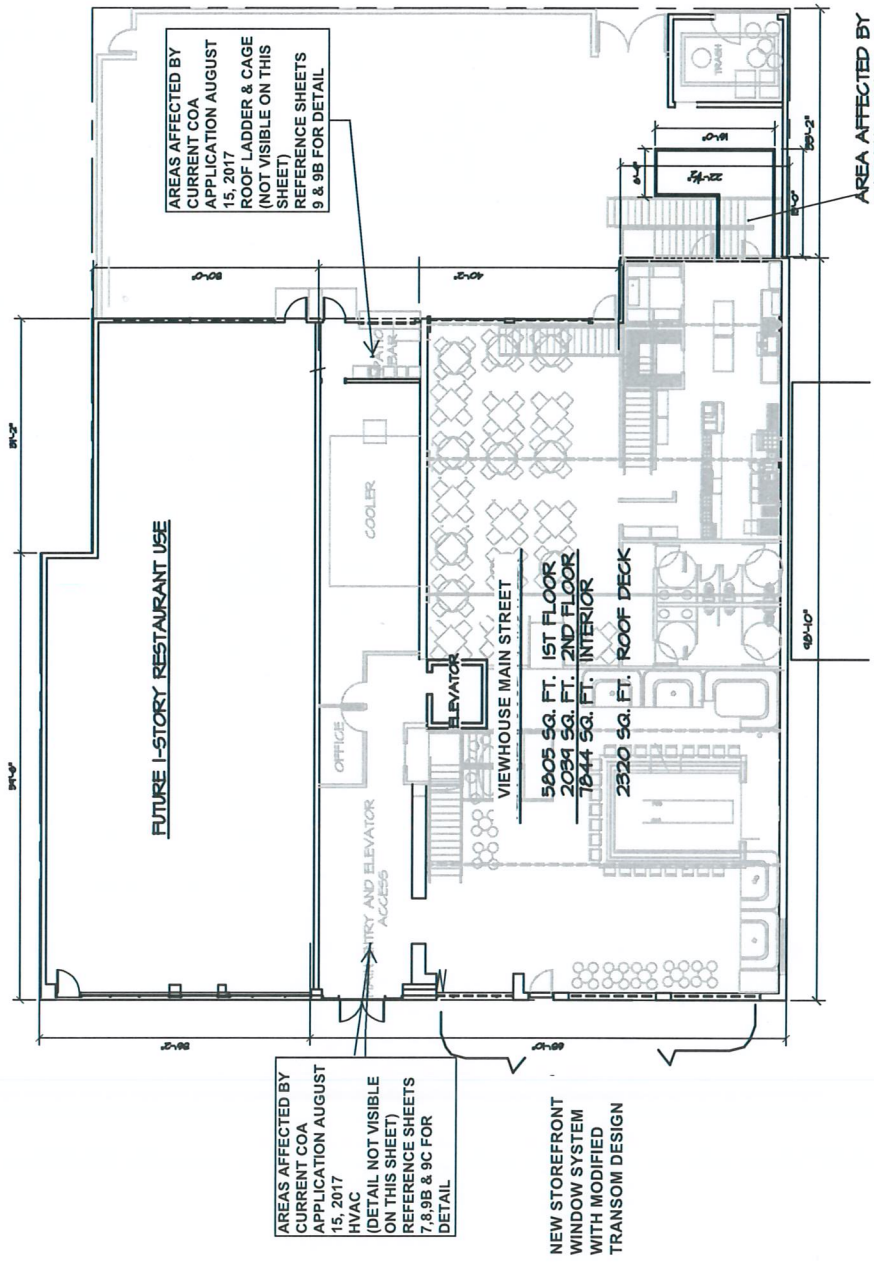
AUGUST 15 2017  
 NOVEMBER 7, 2016  
 DESIGN SHEET 4  
 VIEWHOUSE MAINSTREET  
 2670-BD. W. MAIN STREET  
 LITTLETON, COLORADO

PHOTOS-EXISTING

DES 4



ARCHITECTURE  
 1128 WYANDOTT STREET  
 SUITE 300  
 DENVER, COLORADO 80202  
 303/281-3778



AREAS AFFECTED BY  
CURRENT COA  
APPLICATION AUGUST  
15, 2017  
ROOF LADDER & CAGE  
(NOT VISIBLE ON THIS  
SHEET)  
REFERENCE SHEETS  
9 & 9B FOR DETAIL

AREAS AFFECTED BY  
CURRENT COA  
APPLICATION AUGUST  
15, 2017  
HVAC  
(DETAIL NOT VISIBLE  
ON THIS SHEET)  
REFERENCE SHEETS  
7, 8, 9B & 9C FOR  
DETAIL

NEW STOREFRONT  
WINDOW SYSTEM  
WITH MODIFIED  
TRANSOM DESIGN

AREA AFFECTED BY  
CURRENT COA  
APPLICATION  
COOLER UNDER  
STAIRS BEHIND  
WALL  
AUGUST 15, 2017

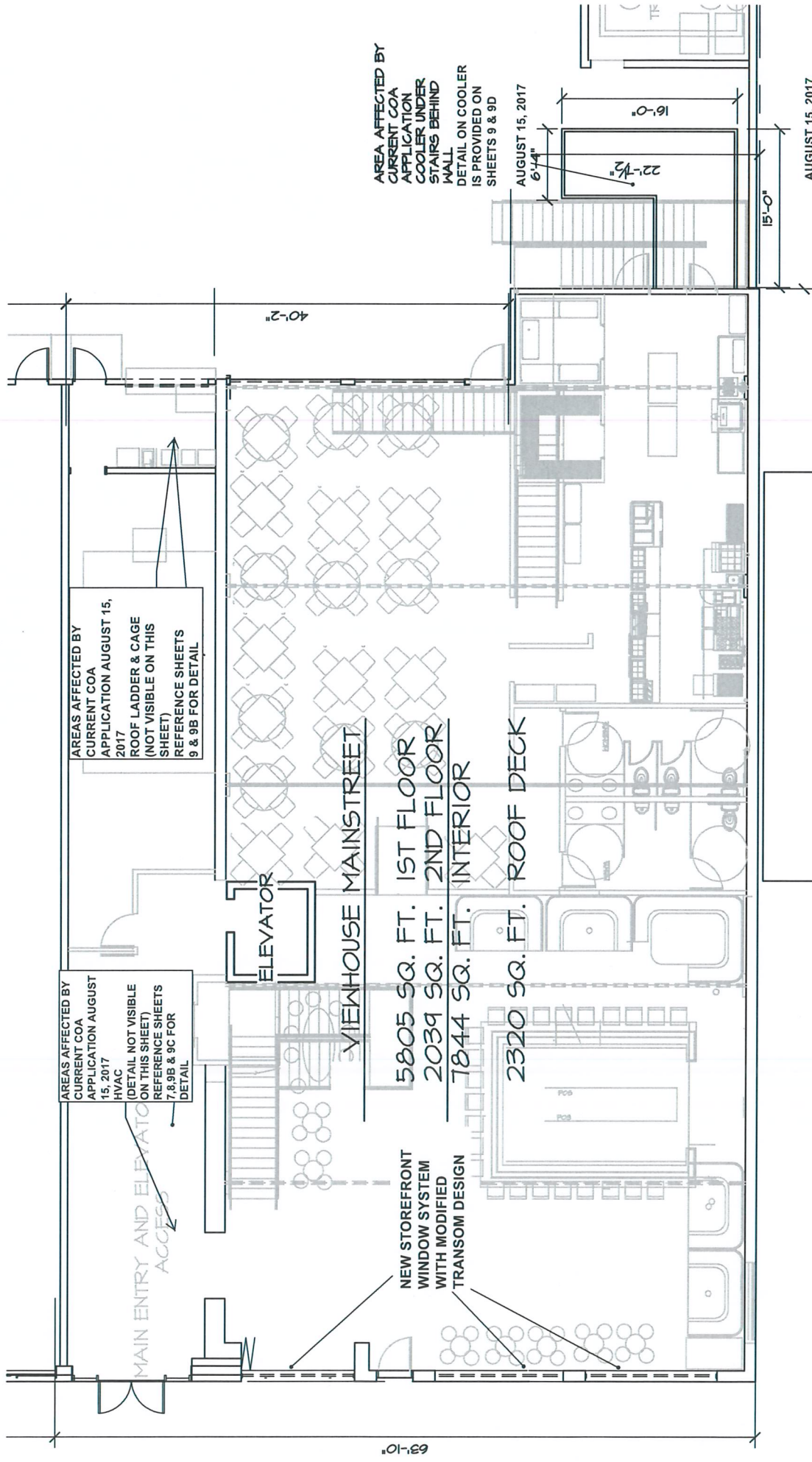


SITE/PROPOSED MAIN FLR. PLAN

DES 5



AUGUST 15, 2017  
NOVEMBER 7, 2016  
DESIGN SHEET 5  
VIEWHOUSE MAIN STREET  
2670-80 W. MAIN STREET  
LITTLETON, COLORADO



NOVEMBER 7, 2016  
DESIGN SHEET 6  
VIEWHOUSE MAINSTREET  
2670-80 W. MAIN STREET  
LITTLETON, COLORADO

ARCHITECTURE  
1728 WINDOOP STREET  
SUITE 300  
DENVER, COLORADO 80202  
303/297-3779

Coyote AD  
P.L.L.C.

# HVAC OPTION 1

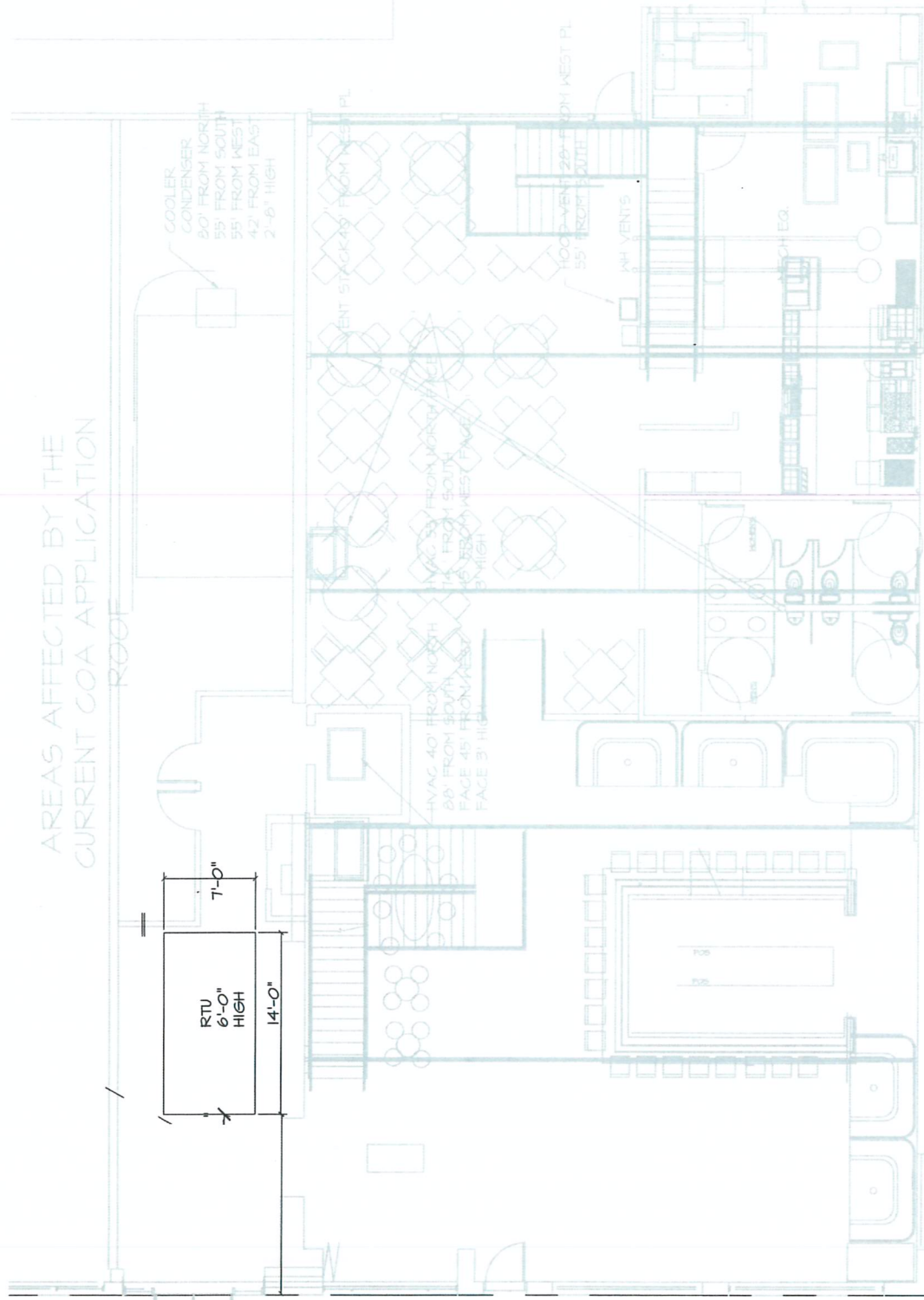
NO SCREENING.  
THERE IS ONLY 2' OF THIS UNIT VISIBLE  
WHICH HAS BEEN PAINTED TO MATCH THE  
BUILDING

THE ADDITION OF SCREENING WILL  
REQUIRE SIGNIFICANT COORDINATION OF  
ENGINEERING AND ARCHITECTURAL  
EFFORTS TO DETERMINE SUCH  
FACTORS WIND LOADS, ETC. WHICH WILL  
NEED TO BE PRESENTED TO THE  
BUILDING DEPT., PRICED, FABRICATED,  
INSTALLED AND INSPECTED.

## SIGHT LINES

SCALE 1/8"=1'-0"

SEE SHEET 9C



AUGUST 15 2017

NOVEMBER 7, 2016

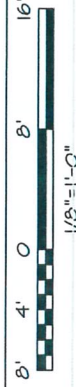
DESIGN SHEET 7

VIEWHOUSE MAINSTREET

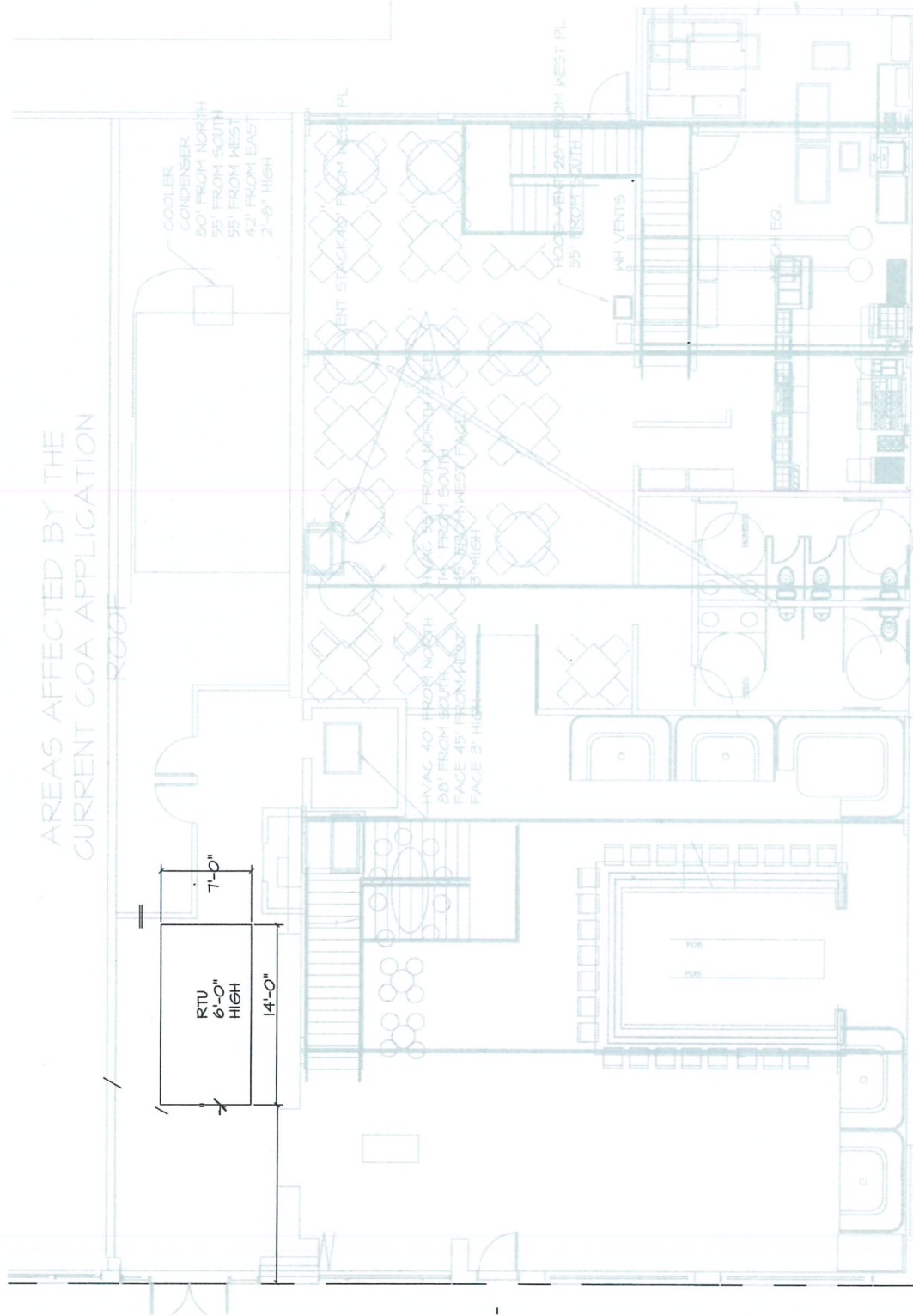
2670-80 W. MAIN STREET  
LITTLETON, COLORADO



PROPOSED RTU NORTH SCREEN



**HVAC OPTION 2**  
 ONLY SCREEN THE VISIBLE 2 FT. OF THE  
 UNIT BY ATTACHING SCREENING TO THE  
 HVAC  
 REFERENCE SHEET 8B FOR DETAIL



**SIGHT LINES**  
 SCALE 1/8"=1'-0"  
 SEE SHEET 9C

AUGUST 15 2017



**PROPOSED RTU NORTH SCREEN**



NOVEMBER 7, 2016  
 DESIGN SHEET 7  
 VIEWHOUSE MAINSTREET  
 2870-80 W. MAIN STREET  
 LITTLETON, COLORADO

SIDING MATCH BUILDING

### NORTH RTU NORTH SCREEN

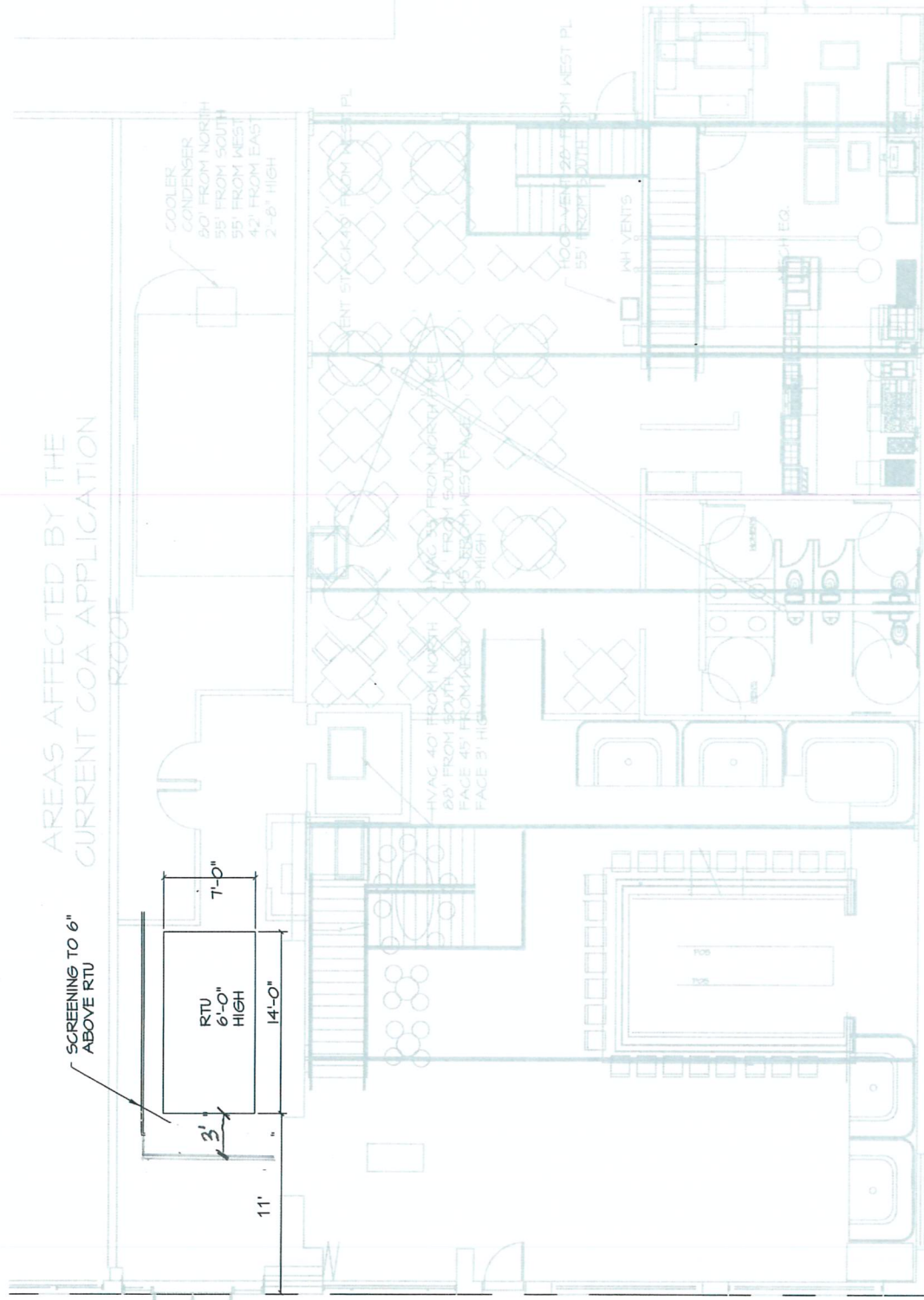
### NORTH RTU EAST SCREEN HVAC OPTION 3

SCREEN IT USING THE SAME SCREENING MATERIAL ON THE ADJACENT BUILDING (BETWEEN THE FIRST FLOOR PARAPET AND THE DECK RAILING). THE SCREEN WOULD WRAP AROUND THE SIDES OF THE UNIT TO SCREEN ONLY WHERE VISIBLE FROM THE STREET, SO NOT NECESSARILY A FULL WRAP. THIS WOULD HAVE TO SIT AT A MINIMUM OF 3' FROM THE UNIT IN ORDER TO ACCESS AND SERVICE.

### SIGHT LINES

SCALE 1/8"=1'-0"

SEE SHEET 9C



AUGUST 15 2017

NOVEMBER 7, 2016

DESIGN SHEET 7C

VIEWHOUSE MAINSTREET

2670-80 W. MAIN STREET  
LITTLETON, COLORADO



### PROPOSED RTU NORTH SCREEN





HVAC OPTION 1  
NO SCREENING



AREAS AFFECTED BY  
CURRENT COA APPLICATION  
3 PANEL GLASS EACH  
AUGUST 1, 2017



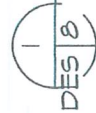
AUGUST 15 2017

NOVEMBER 7, 2016

DESIGN SHEET 8

VIEWHOUSE MAINSTREET  
2970-80 W. MAIN STREET  
LITTLETON, COLORADO

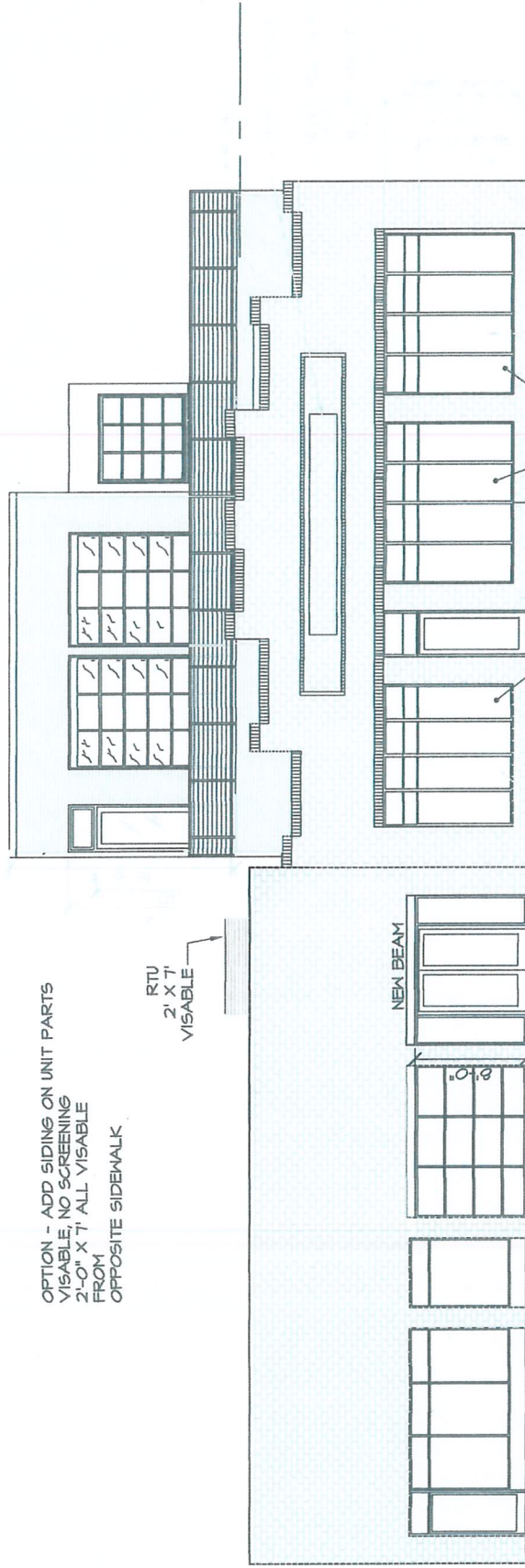
PROPOSED NORTH ELEVATION



0' 4' 8' 16'

1/8" = 1'-0"

HVAC OPTION 2



AUGUST 15 2017

NOVEMBER 7, 2016

DESIGN SHEET 8B

VIEWHOUSE MAINSTREET

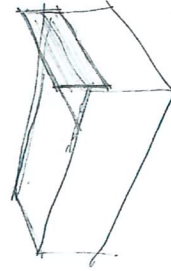
2870-80 W. MAIN STREET  
LITTLETON, COLORADO

PROPOSED NORTH ELEVATION



0' 4' 8' 16'

1/8"=1'-0"



AREAS AFFECTED BY  
CURRENT COA APPLICATION  
HVAC VISIBILITY  
AUGUST 1, 2017

SCREENING TO BD CODE  
2'-8" X 10' TO 12' VISIBLE  
FROM  
OPPOSITE SIDEWALK

SIDING  
MATCH  
BUILDING

NORTH RTU NORTH SCREEN

NEW BEAM

NEW STOREFRONT  
WINDOWS WITH  
TRANSOM DESIGN  
(EXISTING)

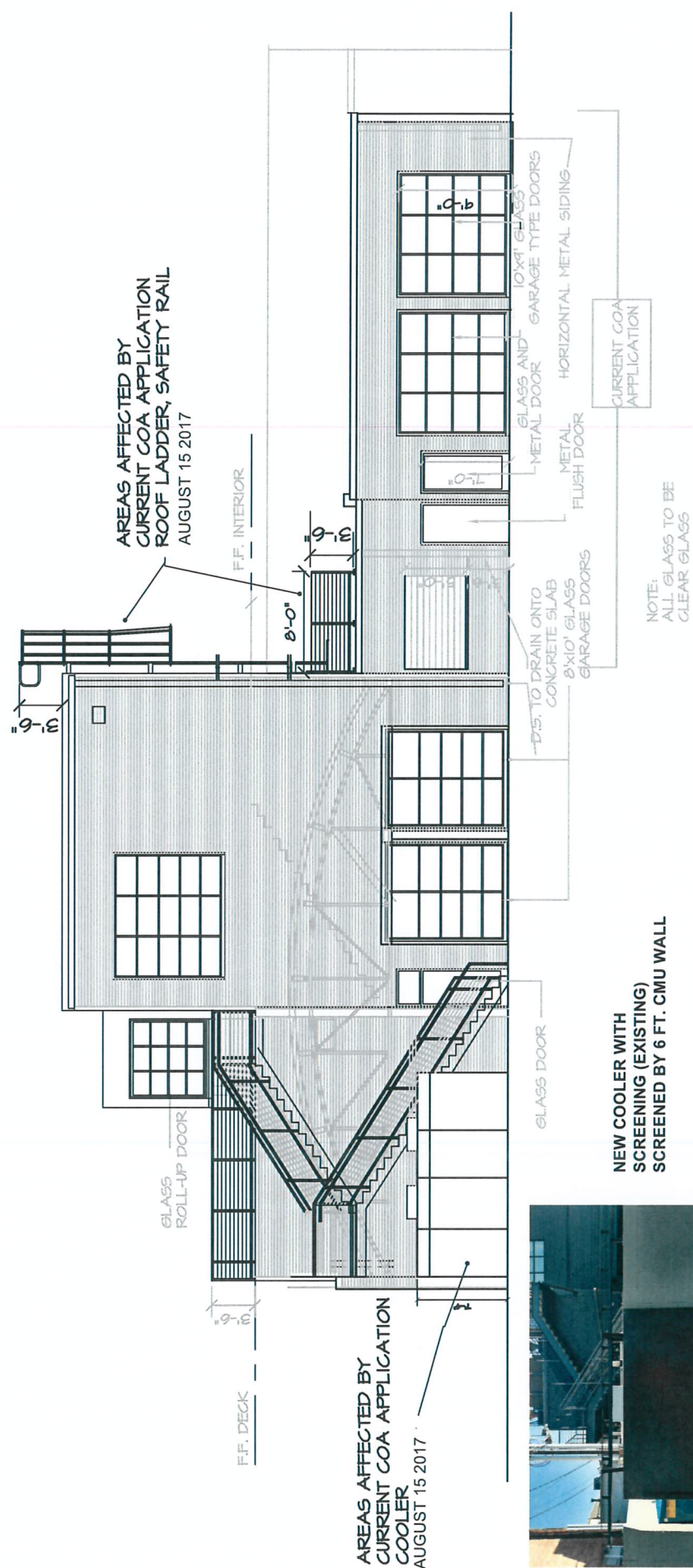
AREAS AFFECTED BY  
CURRENT COA APPLICATION  
3 PANEL GLASS EACH  
AUGUST 15 2017



AUGUST 15 2017  
NOVEMBER 7, 2016  
DESIGN SHEET 8C  
VIEWHOUSE MAINSTREET  
2670-80 W. MAIN STREET  
LITTLETON, COLORADO

HVAC OPTION 3





AUGUST 15 2017

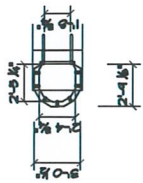
# PROPOSED SOUTH ELEVATION

NOVEMBER 7, 2016  
 DESIGN SHEET 9  
 VIEWHOUSE MAINSTREET  
 2570-80 W. MAIN STREET  
 LITTLETON, COLORADO

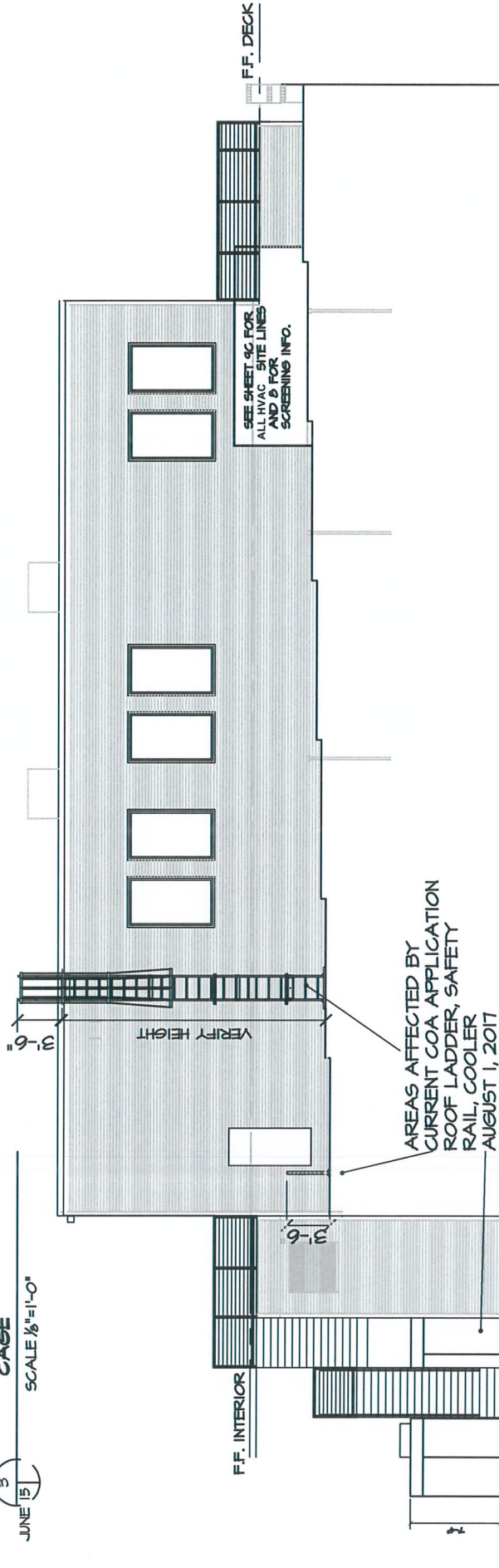


View of cooler from south alley





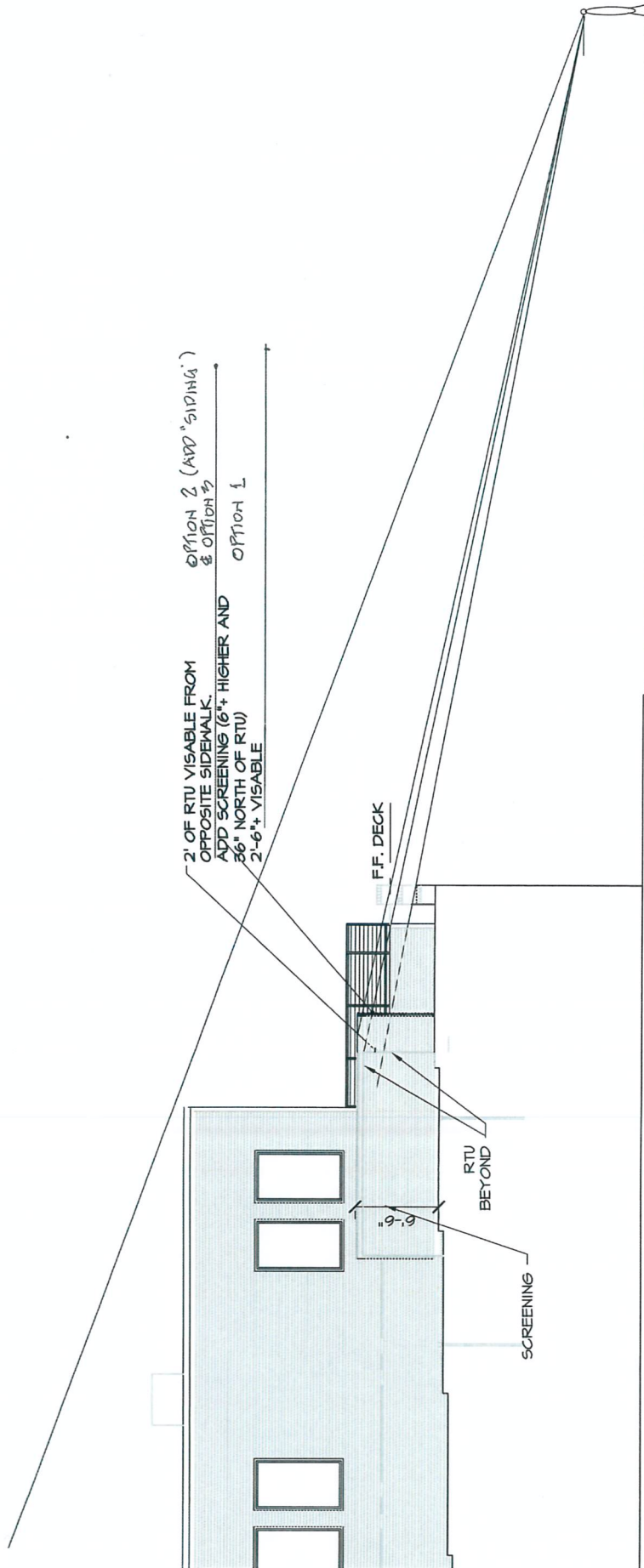

  
 JUNE 15
   
 SCALE 1/8" = 1'-0"
   
 CAGE




  
 EAST ELEVATION
   
 SCALE 1/8" = 1'-0"

AUGUST 15 2017  
 REVISED NOVEMBER 1, 2014  
 SEPTEMBER 22, 2014  
 DESIGN SHEET 9B  
 VIEWHOUSE MAINSTREET  
 2870-80 W. MAIN STREET  
 LITTLETON, COLORADO

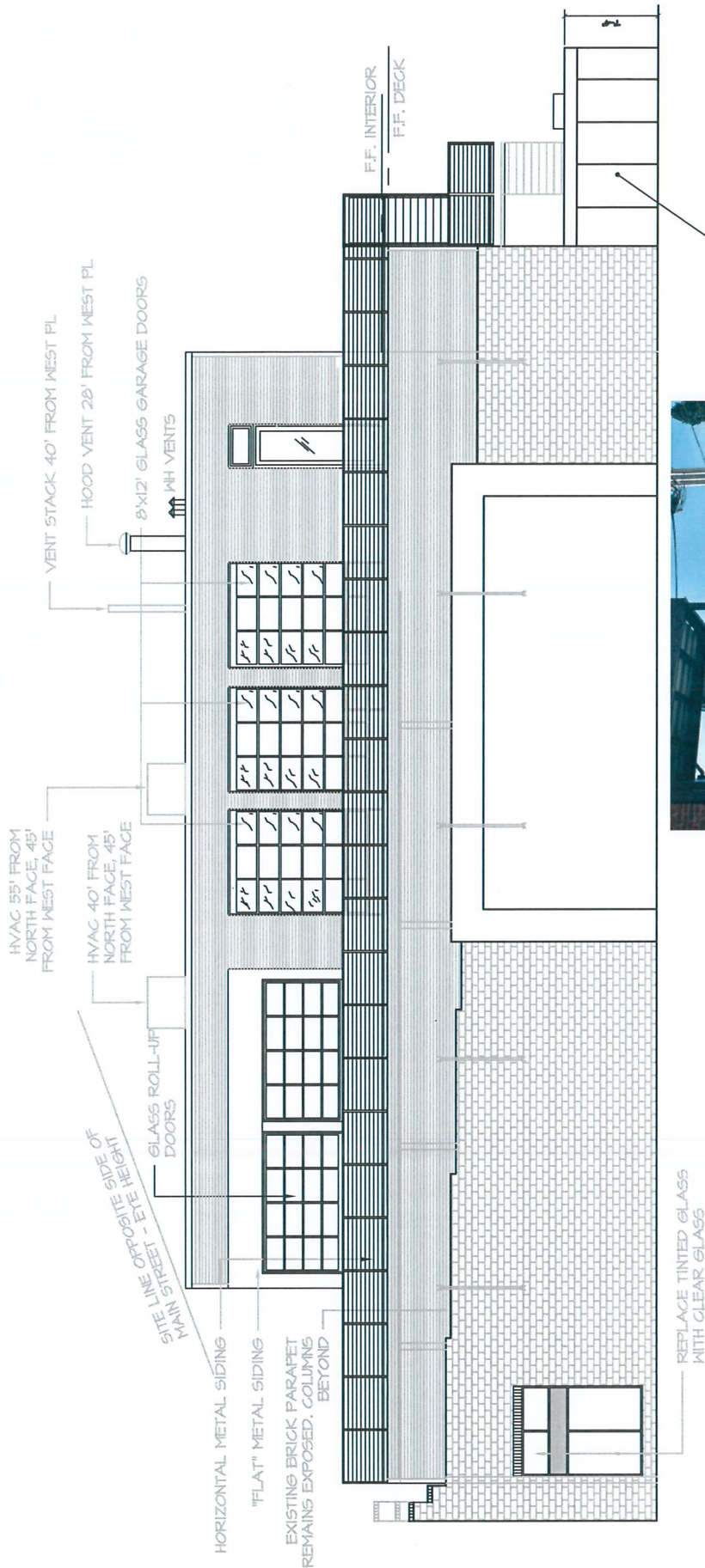




1  
9C  
STREET EAST ELEVATION  
SCALE 1/8"=1'-0"

AUGUST 15 2017  
NOVEMBER 1, 2014  
SEPTEMBER 22, 2014  
DESIGN SHEET 9C  
VIEWHOUSE MAINSTREET  
2670-80 W. MAIN STREET  
LITTLETON, COLORADO



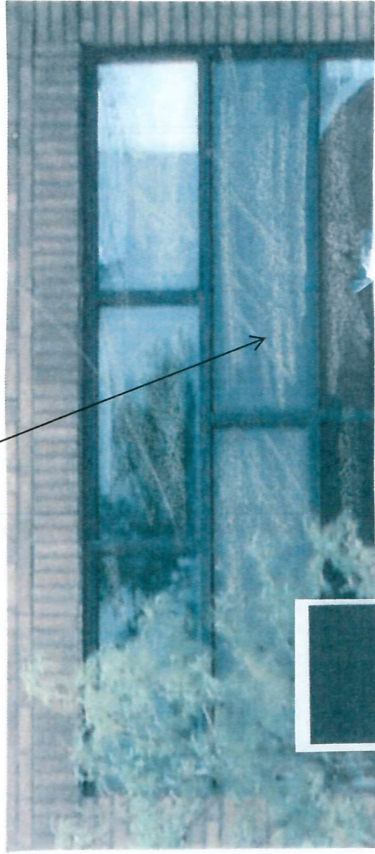


AREAS AFFECTED BY  
CURRENT COA APPLICATION  
COOLER UNDER STAIRS  
COOLER IS SCREENED BY 6FT  
CMU WALL

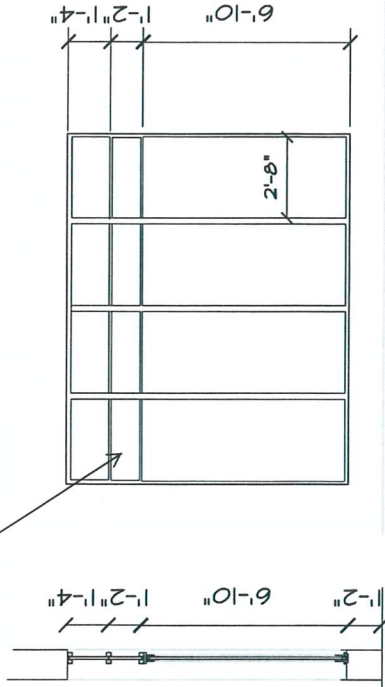


WEST ELEVATION

PREVIOUSLY  
APPROVED  
TRANSOM DESIGN



NEW (EXISTING NANA  
DOOR WITH MODIFIED  
TRANSOM DESIGN. --  
WOULD LIKE TO  
REMOVE PANELLING  
HERE:



2 NANA DOOR (NORTH)

DES 10



SEE APPLICABLE  
ELEVATION SHEET  
DES 8

NOTE:  
ALL GLASS TO BE  
CLEAR GLASS

— AUGUST 15 2017  
NOVEMBER 7, 2016  
DESIGN SHEET 10  
VIEWHOUSE MAINSTREET  
2670-80 W. MAIN STREET  
LITTLETON, COLORADO

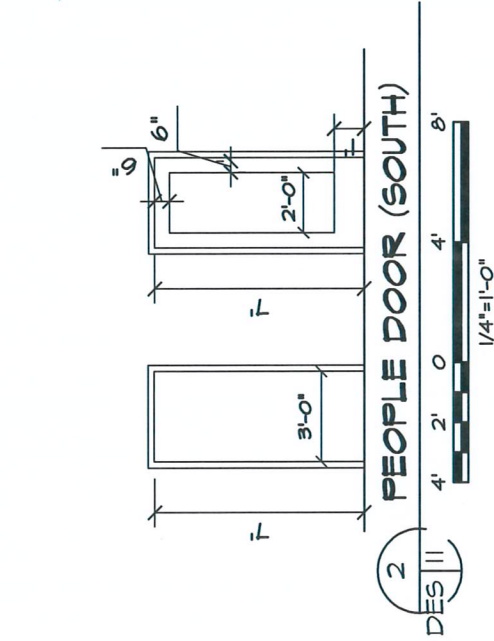
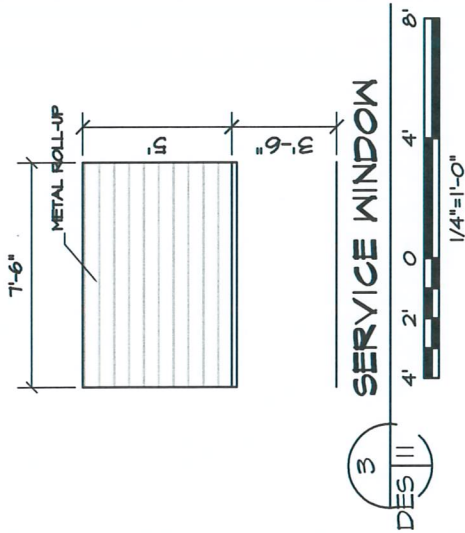
1 PROPOSED DOORS

DES 10



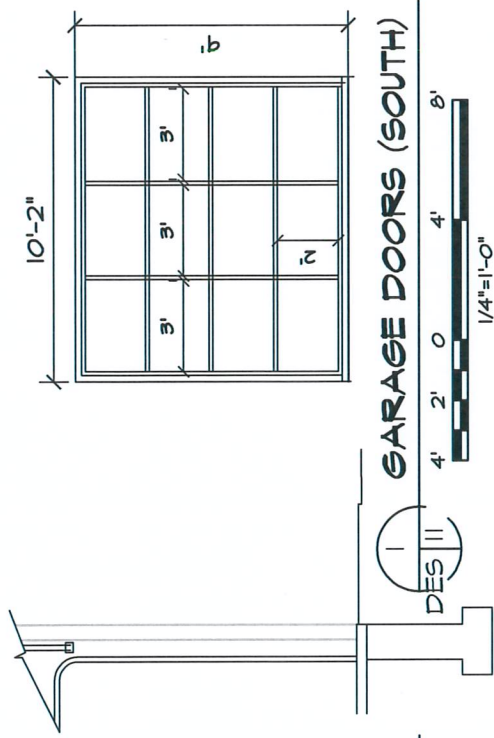
Coyote and  
L.L.C.

ARCHITECTURE  
1738 W. WYOMING STREET  
DENVER, COLORADO 80202  
303/297-3779



NOTE:  
ALL GLASS TO BE  
CLEAR GLASS

SEE APPLICABLE  
ELEVATION SHEET  
DES 4



NOTE:  
ALL GLASS TO BE  
CLEAR GLASS



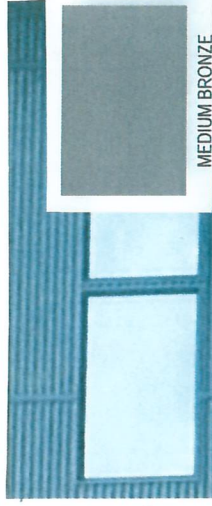
NOTE:  
ALL GLASS TO BE  
CLEAR GLASS

AUGUST 1, 2017  
NOVEMBER 7, 2016  
DESIGN SHEET 11  
VIEWHOUSE MAINSTREET  
2670-80 W. MAIN STREET  
LITTLETON, COLORADO

ARCHITECTURE  
1738 WINDSOR STREET  
SUITE 300  
DENVER, COLORADO 80202  
303/297-3779

**Coyote**  
INC.

GLASS/DOOR FRAMES  
AT METAL SIDING  
COLOR MEDIUM BRONZE  
METAL RAILING COLOR  
MEDIUM BRONZE



NOTE:  
ALL GLASS TO BE  
CLEAR GLASS



DARK BRONZE

GLASS/DOOR FRAMES  
MAIN FLOOR AT BRICK  
COLOR DARK BRONZE

NEW SIDING COLOR  
DARK BRONZE

EXISTING BRICK  
COLOR WEST BELOW  
NEW METAL SIDING



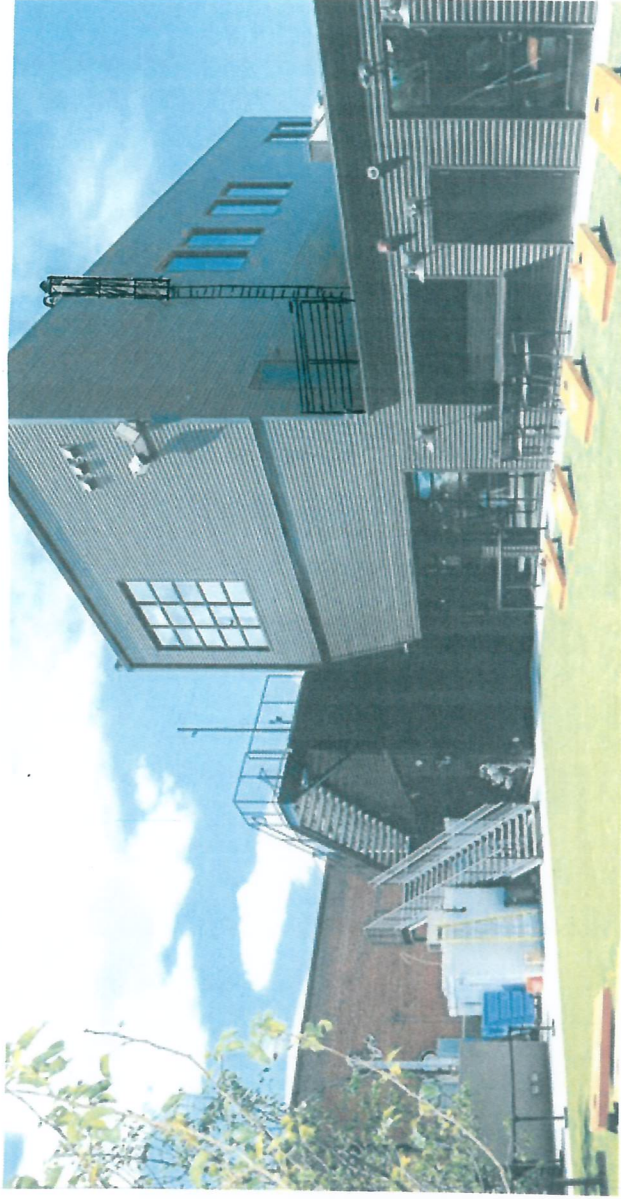
AUGUST 1, 2017

NOVEMBER 7, 2016  
DESIGN SHEET 12  
VIEWHOUSE MAINSTREET  
2670-80 W. MAIN STREET  
LITTLETON, COLORADO

DES 12 | PROPOSED MATERIALS AND COLORS

Coyote and  
LLC

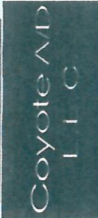
ARCHITECTURE  
1728 WINDYBROOK STREET  
SUITE 300  
DENVER, COLORADO 80202  
303/287-3779



AUGUST 1, 2017

NOVEMBER 7, 2016  
DESIGN SHEET 16  
VIEWHOUSE MAINSTREET  
2670-80 W. MAIN STREET  
LITTLETON, COLORADO

PROPOSED SOUTH VIEW



ARCHITECTURE  
1736 WYNDROP STREET  
DENVER, COLORADO 80202  
303/297-3779