TED RICHARDSON DEVELOPMENT

PLANNED DEVELOPMENT OVERLAY

A PORTION OF PLOTS 33, 34, 43, AND 44, INTERURBAN ADDITION, TOGETHER WITH A PORTION OF VACATED SECOND AVENUE AND VACATED ALLEY LOCATED IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO.

PDO 17-0002

INTENT STATEMENT:
THE PROPOSED SELF-STORAGE USE IS CONSIDERED A USE-BY-RIGHT IN I-P ZONED LOTS PER LAND USE TABLE 10-3-2, S. THE MINIWAREHOUSING SUPPLEMENTAL STANDARDS (SECTION 10-4-8(B)2) LIMITS THE HEIGHT OF SELF-STORAGE STRUCTURES TO 12 FEET UNLESS OTHERWISE ESTABLISHED BY AN APPROVED PD PLAN OR PDO PLAN, WHEREAS THE BUILDING HEIGHT FOR ALL OTHER USES PERMITTED IN I-P ZONED LOTS IS UNLIMITED. THE APPLICANT PROPOSES TO INCREASE MAXIMUM ALLOWABLE BUILDING HEIGHT FROM 12 FEET TO 38 FEET USING THE CITY'S PLANNED DEVELOPMENT OVERLAY (PDO) PROCEDURE, AS PERMITTED UNDER SECTION 10-9 OF THE ZONING REGULATIONS. THE APPLICANT'S PDO APPLICATION DOES NOT PROPOSE ANY ADDITIONAL WAIVERS TO THE ZONING REGULATIONS.

COMPLIANCE WITH PDO INTENT, ZONING REGULATIONS, AND CONSISTENCY WITH THE COMPREHENSIVE PLAN:
THE PROPOSED DEVELOPMENT WILL BE IN COMPLIANCE WITH LITTLETON'S ZONING REGULATIONS, INCLUDING SUPPLEMENTAL MINIWAREHOUSING STANDARDS, SECTION 10-4-8, EXCEPT FOR BUILDING HEIGHT AS DESCRIBED ABOVE. PARAMOUNT TO THE GOALS OF THE PDO GUIDELINES, THE PROPOSED DEVELOPMENT WILL RESULT IN A MUCH MORE EFFICIENT SITE DESIGN COMPARED TO A DEVELOPMENT ABIDING BY TRADITIONAL DISTRICT STANDARDS, WHILE ENHANCING THE OVERALL ARCHITECTURAL CHARACTER OF THE CURRENT I-P DISTRICT. OVER THE PAST SEVERAL YEARS THE SELF-STORAGE INDUSTRY HAS EXPERIENCED AN EMERGENCE OF MODERN MULTI-STORY, CLIMATE CONTROLLED, AND AESTHETICALLY PLEASING FACILITIES DESIGNED TO BETTER INTEGRATE INTO NEIGHBORHOODS AND COMMERCIAL CENTERS WHILE MAKING MORE EFFICIENT USE OF AVAILABLE LAND. THE PROPOSED SELF-STORAGE FACILITY WILL PROVIDE A MUCH NEEDED AMENITY FOR NEARBY RESIDENTS AND BUSINESSES WHILE UTILIZING MUCH LESS LAND AREA COMPARED TO A PROJECT CONSISTING OF ALL SINGLE-STORY BUILDINGS AS PERMITTED BY THE CURRENT ZONING REGULATIONS. A SINGLE-STORY FACILITY WOULD REQUIRE AN ADDITIONAL 1.26 ACRES (5 ACRES TOTAL) OF LAND TO ACHIEVE A SIMILAR USABLE AREA.

ALIGNING WITH THE GOALS OF THE COMPREHENSIVE PLAN, THE PROPOSED DEVELOPMENT WILL ENHANCE PEDESTRIAN CONNECTIONS WITH NEW STREETSCAPE IMPROVEMENTS, PRESERVE OPEN SPACE BY EXCEEDING MINIMUM REQUIREMENTS BY NEARLY 75%, EMBODY HIGH QUALITY ARCHITECTURAL DESIGN AND SITE PLANNING, WHILE PROVIDING A MUCH NEEDED SUPPORT SERVICE FOR NEARBY RESIDENTS AND BUSINESSES. BASED ON MARKET RESEARCH, APPROXIMATELY 30% OF THE USER BASE IS EXPECTED TO COME FROM NEARBY BUSINESS USERS.

COMPATIBILITY WITH THE SURROUNDING NEIGHBORHOOD:
THE DEVELOPMENT IS LOCATED IN THE PROGRESS PARK NEIGHBORHOOD PLAN, ONE BLOCK WEST OF THE BROADWAY CORRIDOR. THE DEVELOPMENT IS SURROUNDED BY R5 ZONED LOTS TO THE SOUTH AND EAST, AND I-P INDUSTRIAL ZONED LOTS TO THE WEST AND NORTH. THE IMMEDIATE NEIGHBORHOOD CONTEXT COMPRISES OF MULTI-FAMILY HOUSING DEVELOPMENTS (3-5 STORIES EACH), INDUSTRIAL, AND COMMERCIAL DEVELOPMENTS BUILT IN THE MID TO LATE 1900'S. THE PROPOSED 3-STORY DEVELOPMENT IS COMPATIBLE IN HEIGHT AND SCALE TO THE SURROUNDING NEIGHBORHOOD. THE DEVELOPMENT HAS BEEN DESIGNED WITH A 'FORTRESS STYLE' PLANNING CONCEPT THAT SCREENS THE SELF-STORAGE DRIVE-UP DOORS AND LOADING AREA FUNCTIONS FROM PUBLIC VIEW USING LANDSCAPING, BUILDING ARCHITECTURE WITH VARYING MASSING ELEMENTS, AND/OR SOLID SCREEN FENCING. SPECIAL ATTENTION TO ARCHITECTURAL DESIGN IS DEMONSTRATED BY INCORPORATING DESIGN ELEMENTS FOUND IN HIGH QUALITY MULTI-FAMILY AND OFFICE DESIGN, INCLUDING: MULTIPLE CHANGES IN PARAPET HEIGHT, PUNCHED WINDOW OPENINGS, SLOPED ROOFS, WALL ARTICULATION, AND ENHANCED MATERIAL TREATMENTS (INCLUDING MASONRY, ARCHITECTURAL COMPOSITE METAL, AND GLAZING).

PRIMARY VEHICULAR AND PEDESTRIAN ACCESS IS PROPOSED ALONG POWERS AVE WITH A SECONDARY/EMERGENCY ACCESS POINT FOR VEHICLES PROPOSED ALONG THE NORTH SIDE OF BANNOCK ST. THE ACCESS DRIVE AISLES INTERIOR TO THE SITE ARE DESIGNED TO ACCOMMODATE EMERGENCY VEHICLES WHERE REQUIRED. A SUPPLEMENTAL ATTACHMENT HAS BEEN PROVIDED WITH THE PDO SUBMITTAL TO DEMONSTRATE COMPLIANCE WITH EMERGENCY VEHICLE ACCESS.

DESIGN STANDARDS:
AS A REQUIREMENT OF THE PLANNED DEVELOPMENT OVERLAY PROCESS THE PROPOSED ARCHITECTURE FOR THE BUILDING WILL INCORPORATE HIGH QUALITY MATERIALS SUCH AS STOREFRONT, MASONRY AND ARCHITECTURAL METAL PANELS WITH VARYING, MASSING, TEXTURES AND COLORS CREATING A VISUALLY APPEALING BUILDING. A DIGITAL MATERIAL BOARD IS SHOWN ON THE PDO BUILDING ELEVATION SHEETS. ADDITIONALLY, THE PROPOSED BUILDING ORIENTATION, LANDSCAPING AND FENCING HAVE BEEN DESIGNED TO MINIMIZE THE VISIBILITY FROM THE PUBLIC RIGHT-OF-WAY INTO THE FACILITY. IN ORDER TO DEMONSTRATE SPECIAL ATTENTION TO HIGH QUALITY DESIGN, THE PDO SHALL INCORPORATE THE FOLLOWING DESIGN STANDARDS:

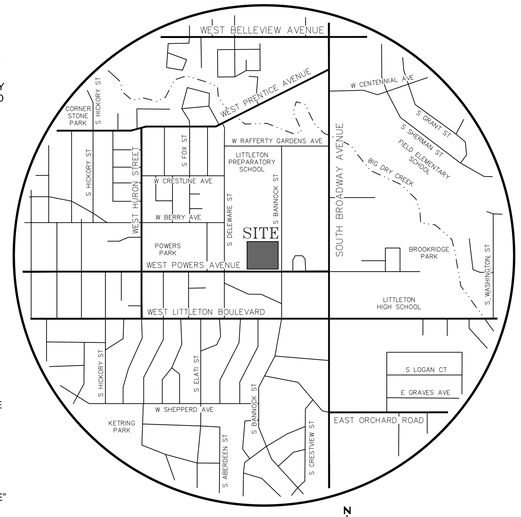
- ALONG THE TWO PUBLIC RIGHT-OF-WAYS, S. BANNOCK AND W. POWERS, AND ALONG THE WEST PROPERTY LINE, FACADES WILL PREDOMINATELY FEATURE MASONRY OF AT LEAST (2) DIFFERENT TYPES.
- ALONG THE TWO PUBLIC RIGHT-OF-WAYS, S. BANNOCK AND W. POWERS, AND ALONG THE WEST PROPERTY LINE, WINDOWS SHALL BE PROVIDED IN ORDER TO PROMOTE COMPATIBLY WITH SURROUNDING RESIDENTIAL AND COMMERCIAL DEVELOPMENTS.
- ALONG THE TWO PUBLIC RIGHT-OF-WAYS, S. BANNOCK AND W. POWERS, AND ALONG THE WEST PROPERTY LINE, THE BUILDINGS SHALL BE CONFIGURED USING A "FORTRESS STYLE" PLANNING CONCEPT IN ORDER TO MINIMIZE VIEWS FROM THE PUBLIC RIGHT-OF-WAY INTO THE FACILITY AND TO PROVIDE SECURITY AGAINST THEFT OR VANDALISM.
- MATERIAL CHANGES, ROOF HEIGHT CHANGES AS WELL AS STEPS IN THE BUILDING FOOTPRINT SHALL BE INCORPORATED TO VISUALLY BREAK UP THE MASSING OF THE BUILDINGS.
- EXTERIOR OVERHEAD LOADING DOORS SHALL BE ORIENTED INTERNALLY TO THE SITE IN ORDER TO MINIMIZE VISIBILITY OF THE DOORS FROM THE PUBLIC RIGHT-OF-WAY.
- MATERIAL FINISHES SHALL FEATURE PREDOMINANTLY EARTH TONE COLORS THAT ARE COMPATIBLE WITH THE SURROUNDING NEIGHBORHOOD. NEON AND/OR BRIGHT CONTRASTING COLORS SHALL BE AVOIDED.

WITH THE EXCEPTION OF THE HEIGHT REQUIREMENT AS DESCRIBED ABOVE, THE PROPOSED STORAGE FACILITY SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF SECTION 10-4-8, MINIWAREHOUSING. THESE REQUIREMENTS SHALL INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING STANDARDS:

- THERE SHALL BE EMPLOYED ON THE PREMISES OF ANY MINIWAREHOUSE DEVELOPMENT A FULL TIME MANAGER OF THE OPERATION. SUCH MANAGER MAY BE "LIVE IN", PROVIDED THAT A PERMANENT RESIDENCE WHICH MEETS ALL THE REQUIREMENTS OF THE CITY FOR RESIDENTIAL OCCUPANCY IS LOCATED ON THE SITE.
- THE LESSEE OF ANY STORAGE UNIT OR SPACE SHALL BE PROVIDED WITH A DOCUMENT, WHETHER A LEASE OR OTHER WRITING, WHICH SHALL, AT A MINIMUM, CONTAIN CLEAR STATEMENTS OF ALL LIMITATIONS AND PROHIBITIONS OF THESE REGULATIONS. THE OPERATOR SHALL REQUIRE THAT THE LESSEE ACKNOWLEDGE ADVISEMENT OF THE LIMITATIONS AND PROHIBITIONS OF THESE REGULATIONS.
- A COPY OF THE REGULATIONS SHALL BE CONVENIENTLY DISPLAYED THROUGHOUT THE PREMISES.
- IT SHALL BE THE JOINT RESPONSIBILITY OF THE OWNER AND THE MANAGER TO ENSURE THAT THE LESSEES COMPLY WITH ALL APPLICABLE PROVISIONS OF THESE REGULATIONS.
- THE DEVELOPMENT WILL COMPLY WITH SECTION 10-4-8(E) WHICH PROHIBITS THE STORAGE OF FLAMMABLE MATERIALS.

LAND USE CODE - ZONING COMPARISON CHART

	EXISTING "I-P" AND "MINIWAREHOUSING" ZONING REQUIREMENTS (MOST RESTRICTIVE)	PROPOSED I-P / PDO
PRIMARY USES ALLOWED	CITY OF LITTLETON, TITLE 10 ZONING ORDINANCE, 10-3-2, LAND USE TABLE FOR "I-P (INDUSTRIAL PARK DISTRICT)"	CITY OF LITTLETON, TITLE 10 ZONING ORDINANCE, 10-3-2, LAND USE TABLE FOR "I-P (INDUSTRIAL PARK DISTRICT)"
MINIMUM & MAXIMUM LOT AREA	MINIMUM: 43,560 SF (1.0 ACRE); MAXIMUM: 217,800 SF (5 ACRES)	MINIMUM: 43,560 SF (1.0 ACRE); MAXIMUM: 217,800 SF (5 ACRES)
MINIMUM UNOBSTRUCTED OPEN SPACE	20% AND 25' WIDE UNOBSTRUCTED OPEN SPACE ADJACENT TO RESIDENTIAL ZONED PROPERTY. **DISTRIBUTION OF OPEN SPACE:** AT LEAST FIFTY PERCENT (50%) OF THE LOT AREA REQUIRED TO BE UNOBSTRUCTED OPEN SPACE SHALL BE EVENLY DISTRIBUTED ALONG ADJACENT PUBLIC RIGHTS OF WAY, WITH NECESSARY PROVISIONS FOR ADEQUATE ACCESS TO THE RIGHTS OF WAY. (A) PORTIONS OF ADJACENT PUBLIC RIGHT OF WAY MAINTAINED AS LANDSCAPED AREA SHALL NOT REDUCE THE TWENTY PERCENT (20%) OPEN SPACE REQUIREMENT WITHIN THE LOT.	20% AND 25' WIDE UNOBSTRUCTED OPEN SPACE ADJACENT TO RESIDENTIAL ZONED PROPERTY. **DISTRIBUTION OF OPEN SPACE:** AT LEAST FIFTY PERCENT (50%) OF THE LOT AREA REQUIRED TO BE UNOBSTRUCTED OPEN SPACE SHALL BE EVENLY DISTRIBUTED ALONG ADJACENT PUBLIC RIGHTS OF WAY, WITH NECESSARY PROVISIONS FOR ADEQUATE ACCESS TO THE RIGHTS OF WAY. (A) PORTIONS OF ADJACENT PUBLIC RIGHT OF WAY MAINTAINED AS LANDSCAPED AREA SHALL NOT REDUCE THE TWENTY PERCENT (20%) OPEN SPACE REQUIREMENT WITHIN THE LOT.
MAXIMUM HEIGHT OF STRUCTURES	MAXIMUM HEIGHT FOR NON-SELF STORAGE USES IN I-P ZONE DISTRICT: NONE MAXIMUM HEIGHT FOR SELF STORAGE USES IN I-P ZONE DISTRICT: 12 FEET	MAXIMUM HEIGHT FOR NON-SELF STORAGE USES IN I-P ZONE DISTRICT: NONE MAXIMUM HEIGHT FOR SELF STORAGE USES IN I-P ZONE DISTRICT: 38 FEET
MAXIMUM FLOOR AREA RATIO (FAR)	NONE	NONE
MAXIMUM LOT COVERAGE	MAXIMUM LOT COVERAGE FOR NON-SELF-STORAGE USES IN I-P ZONE DISTRICT: NONE MAXIMUM LOT COVERAGE FOR SELF-STORAGE USES IN I-P ZONE DISTRICT: 35%	MAXIMUM LOT COVERAGE FOR NON-SELF-STORAGE USES IN I-P ZONE DISTRICT: NONE MAXIMUM LOT COVERAGE FOR SELF-STORAGE USES IN I-P ZONE DISTRICT: 35%
MAXIMUM NUMBER OF STRUCTURES	5	5
BUILDING SETBACKS	ADJACENT TO NON-INDUSTRIAL ZONE DISTRICT: 25 FEET ADJACENT TO INDUSTRIAL ZONE DISTRICT: NONE	ADJACENT TO NON-INDUSTRIAL ZONE DISTRICT: 25 FEET ADJACENT TO INDUSTRIAL ZONE DISTRICT: NONE
PARKING REQUIREMENTS	SELF STORAGE: (1) SPACE PER 6,000 SF OF FLOOR AREA AND OPEN STORAGE, OR (1) SPACE FOR EACH (50) STORAGE UNITS, WHICHEVER IS GREATER. (2) ADDITIONAL SPACES PROVIDED AT MANAGER'S OFFICE. OTHER USES: REFER TO CITY OF LITTLETON, TITLE 10 ZONING ORDINANCE, 10-4-9 (A) "PARKING REQUIREMENTS"	SELF STORAGE: (1) SPACE PER 6,000 SF OF FLOOR AREA AND OPEN STORAGE, OR (1) SPACE FOR EACH (50) STORAGE UNITS, WHICHEVER IS GREATER. (2) ADDITIONAL SPACES PROVIDED AT MANAGER'S OFFICE. OTHER USES: REFER TO CITY OF LITTLETON, TITLE 10 ZONING ORDINANCE, 10-4-9 (A) "PARKING REQUIREMENT
PARKING STALL & DRIVE AISLE DIMENSIONS	SELF STORAGE: ALL DRIVES WHICH INCLUDES LOADING LANES SHALL BE NOT LESS THAN THIRTY FEET (30') IN WIDTH. DRIVES WITHOUT LOADING LANES SHALL BE NOT LESS THAN TWENTY FEET (20'). OTHER USES: REFER TO CITY OF LITTLETON, TITLE 10 ZONING ORDINANCE, 10-4-9 (A) "PARKING REQUIREMENTS"	SELF STORAGE: ALL DRIVES WHICH INCLUDES LOADING LANES SHALL BE NOT LESS THAN THIRTY FEET (30') IN WIDTH. DRIVES WITHOUT LOADING LANES SHALL BE NOT LESS THAN TWENTY FEET (20'). OTHER USES: REFER TO CITY OF LITTLETON, TITLE 10 ZONING ORDINANCE, 10-4-9 (A) "PARKING REQUIREMENTS"
OFF-STREET LOADING REQUIREMENTS	GROSS FLOOR AREA (SF): 25,000 TO 40,000 - 1 SPACE 40,001 - 100,000 - 2 SPACES 100,001 - 160,000 - 3 SPACES 160,001 - 240,000 - 4 SPACES 240,001 TO 320,000 - 5 SPACES 320,001 TO 400,000 - 6 SPACES FOR EACH ADDITIONAL 100,000 OVER 400,000 - 1 ADDITIONAL	GROSS FLOOR AREA (SF): 25,000 TO 40,000 - 1 SPACE 40,001 - 100,000 - 2 SPACES 100,001 - 160,000 - 3 SPACES 160,001 - 240,000 - 4 SPACES 240,001 TO 320,000 - 5 SPACES 320,001 TO 400,000 - 6 SPACES FOR EACH ADDITIONAL 100,000 OVER 400,000 - 1 ADDITIONAL



VICINITY MAP
1" = 1000'

INDEX OF SHEETS

01 COVER SHEET
02 ILLUSTRATIVE SITE PLAN
03 ILLUSTRATIVE LANDSCAPE PLAN
04 ILLUSTRATIVE BUILDING ELEVATIONS
05 ILLUSTRATIVE BUILDING ELEVATIONS
06 ILLUSTRATIVE BUILDING ELEVATIONS
07 ILLUSTRATIVE FLOOR PLANS

LEGAL DESCRIPTION OF ZONING PARCEL 1

A PARCEL OF LAND BEING A PORTION OF PLOTS 33, 34, 43 AND 44, INTERURBAN ADDITION, IN THE CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO, PER PLAT RECORDED IN PLAT BOOK 1, PAGE 42 IN THE OFFICE OF THE CLERK AND RECORDER OF SAID COUNTY, TOGETHER WITH A PORTION OF SOUTH BANNOCK STREET AND A PORTION OF WEST POWERS AVENUE, ALL LYING WITHIN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, SAID CITY, COUNTY AND STATE, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID PLOT 33;

THENCE ALONG THE EASTERLY LINE OF SAID PLOTS 33 AND 34, NORTH 00°02'15" WEST, 384.91 FEET TO THE **POINT OF BEGINNING**;
THENCE DEPARTING SAID EASTERLY LINE, SOUTH 89°57'45" WEST, 444.75 FEET;
THENCE SOUTH 00°02'15" EAST, 409.91 FEET TO LINE PARALLEL WITH AND DISTANT 25.00 FEET SOUTHERLY OF THE SOUTHERLY LINE OF SAID PLOT 44;
THENCE ALONG SAID PARALLEL LINE, NORTH 89°57'45" EAST, 469.75 FEET TO LINE PARALLEL WITH AND DISTANT 25.00 FEET EASTERLY OF THE EASTERLY LINE OF SAID PLOT 33;
THENCE ALONG SAID LAST DESCRIBED PARALLEL LINE, NORTH 00°02'15" WEST, 409.91 FEET TO LINE THAT BEARS NORTH 89°57'45" EAST AND PASSES THROUGH THE POINT OF BEGINNING;
THENCE SOUTH 89°57'45" WEST, 25.00 FEET TO THE **POINT OF BEGINNING**.

CONTAINS AN AREA OF 192,555 SQUARE FEET OR 4.420 ACRES, MORE OR LESS.

ROBERT D. SNODGRASS, PLS NO. 36580
FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.
300 EAST MINERAL AVENUE, SUITE 1
LITTLETON, CO 80122
303-713-1898

OWNER / APPLICANT

THEODORE FITZGERALD RICHARDSON 2015 TRUST
4725 S. MONACO ST.
DENVER, CO 80237
303.882.7715 voice
CONTACT: DAVID RICHARDSON

ARCHITECT

DCB CONSTRUCTION COMPANY, INC.
909 E. 62ND AVE.
DENVER, CO 80216
303.287.5525 voice
CONTACT: DAVID FLECK

CIVIL ENGINEER

REDLAND
1500 W. CANAL CT.
LITTLETON, CO 80120
720.283.6783 voice
CONTACT: MARK D. CEVAAL, PE #33123

LAND SURVEYOR

AZTEC CONSULTANTS, INC.
300 E. MINERAL AVE., SUITE 1
LITTLETON, CO 80122
303.713.1898 voice
CONTACT: ROBERT D. SNODGRASS, PLS #36580

LANDSCAPE ARCHITECT

STACKLOT
5639 S. CURTIS ST.
LITTLETON, CO 80120
303.883.2735 voice
CONTACT: STEVE WIENS

NOTES:

1. THE SITE DESIGN WILL COMPLY WITH THE CITY OF LITTLETON AND AASHTO SIGHT DISTANCE CRITERIA.
2. ALL PROPOSED UTILITIES RELATED TO THIS DEVELOPMENT SHALL BE INSTALLED UNDERGROUND UNLESS AN AGREEMENT FOR PLACING UTILITIES UNDERGROUND HAS BEEN ENTERED INTO BETWEEN THE PROPERTY OWNER AND THE CITY, PURSUANT TO SECTION 10-4-1 (E) OF THE CITY CODE.

OWNER CERTIFICATION:

I, _____, OWNER, OR DESIGNATED AGENT THEREOF, DO HEREBY AGREE THAT THE ABOVE DESCRIBED PROPERTY WILL BE DEVELOPED AS A PLANNED DEVELOPMENT OVERLAY (PDO) IN ACCORDANCE WITH THE USES, RESTRICTIONS, AND CONDITIONS CONTAINED IN THIS PLAN. FURTHER, THE CITY OF LITTLETON IS HEREBY GRANTED PERMISSION TO ENTER ONTO SAID PROPERTY FOR THE PURPOSES OF CONDUCTING INSPECTIONS TO ESTABLISH COMPLIANCE OF THE DEVELOPMENT OF THE PROPERTY WITH ON-SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, LANDSCAPING, DRAINAGE FACILITIES, PARKING AREAS, AND TRASH ENCLOSURES. IF, UPON INSPECTION, THE CITY FINDS DEFICIENCIES IN THE ON-SITE IMPROVEMENTS AND, AFTER PROPER NOTICE, THE DEVELOPER SHALL TAKE APPROPRIATE CORRECTIVE ACTION. FAILURE TO TAKE SUCH CORRECTIVE ACTION SPECIFIED BY THE CITY SHALL BE GROUNDS FOR THE CITY TO APPLY ANY OR ALL OF ANY REQUIRED FINANCIAL ASSURANCE TO CAUSE THE DEFICIENCIES TO BE BROUGHT INTO COMPLIANCE WITH THIS PDO PLAN, OR WITH ANY SUBSEQUENT AMENDMENTS HERETO.

_____
SIGNATURE OF OWNER OR AGENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20_____.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES _____.

_____
NOTARY PUBLIC

CITY ATTORNEY APPROVAL:

APPROVED AS TO FORM:

CITY ATTORNEY _____

PLANNING BOARD APPROVAL:

APPROVED THIS _____ DAY OF _____, 20 ____, BY THE LITTLETON CITY PLANNING BOARD.

_____
PLANNING BOARD CHAIR

ATTEST:

_____
PLANNING BOARD SECRETARY

RECORDING CERTIFICATION:

THIS DOCUMENT WAS FILED FOR RECORDING IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ARAPAHOE COUNTY AT _:__ __.M. ON THE _____ DAY OF _____, 20__, IN BOOK _____, PAGE _____, MAP _____, RECEPTION NUMBER _____.

_____
COUNTY CLERK AND RECORDER

BY:

_____
DEPUTY

LAND DATA TABLE

TOTAL SITE AREA	GROSS BUILDING AREA	FLOOR AREA RATIO	NUMBER OF STRUCTURES	MAX. BUILDING HEIGHT	BUILDING FOOTPRINT FLOOR AREA COVERAGE	IMPERVIOUS AREA (PAVEMENT & WALKS)	UNOBSTRUCTED OPEN SPACE	PARKING REQUIRED	PARKING PROVIDED	OFF-STREET LOADING REQUIRED	OFF-STREET LOADING PROVIDED
162,929 SF* (3.74 AC.)	116,852 SF	0.73:1.00	5 STRUCTURES	38 FEET	BUILDING A: 31,354 SF BUILDING B: 9,655 SF BUILDING C: 5,908 SF BUILDING D: 5,026 SF BUILDING E: 4,985 SF TOTAL: 56,928 SF (34.9%)	48,586 SF (29.9%)	TOTAL PROPOSED: 57,415 SF (35.2%) TOTAL REQUIRED: 32,586 (20.0%) PROPOSED OPEN SPACE DISTRIBUTED ALONG RIGHT-OF-WAY = 25,160 SF (15.4%) REQUIRED OPEN SPACE DISTRIBUTED ALONG RIGHT-OF-WAY = 16,293 SF (10.0%)	825 TOTAL UNITS. PARKING CALCULATIONS SHALL BE BASED ON MORE RESTRICTIVE AREA CALCULATION AS FOLLOWS: 116,852 GSF/6,000 GSF = 19.48 SPACES PLUS 2 SPACE 21.48 TOTAL SPACES	20 SPACES FOR SELF STORAGE + 2 SPACES FOR EMPLOYEES = 22 TOTAL SPACES	3	3

* THIS IS NET AREA AND DOES NOT INCLUDE ADJACENT ROW AND PROPOSED ROW DEDICATIONS.

Date	Submission / Revision
01/26/2017	PLANNED DEVELOPMENT OVERLAY
03/14/2017	INTAKE REVIEW
05/02/2017	RESUBMITTAL
05/17/2017	RESUBMITTAL

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Where Great Places Begin
720-283-6783 Office
1500 West Canal Court
Littleton, Colorado 80120
R-REDLAND.COM

PLANNED DEVELOPMENT OVERLAY
TED RICHARDSON DEVELOPMENT
W POWERS AVE & S BANNOCK ST
LITTLETON, COLORADO

Design Project No.
17-903

Drawing Title
COVER SHEET

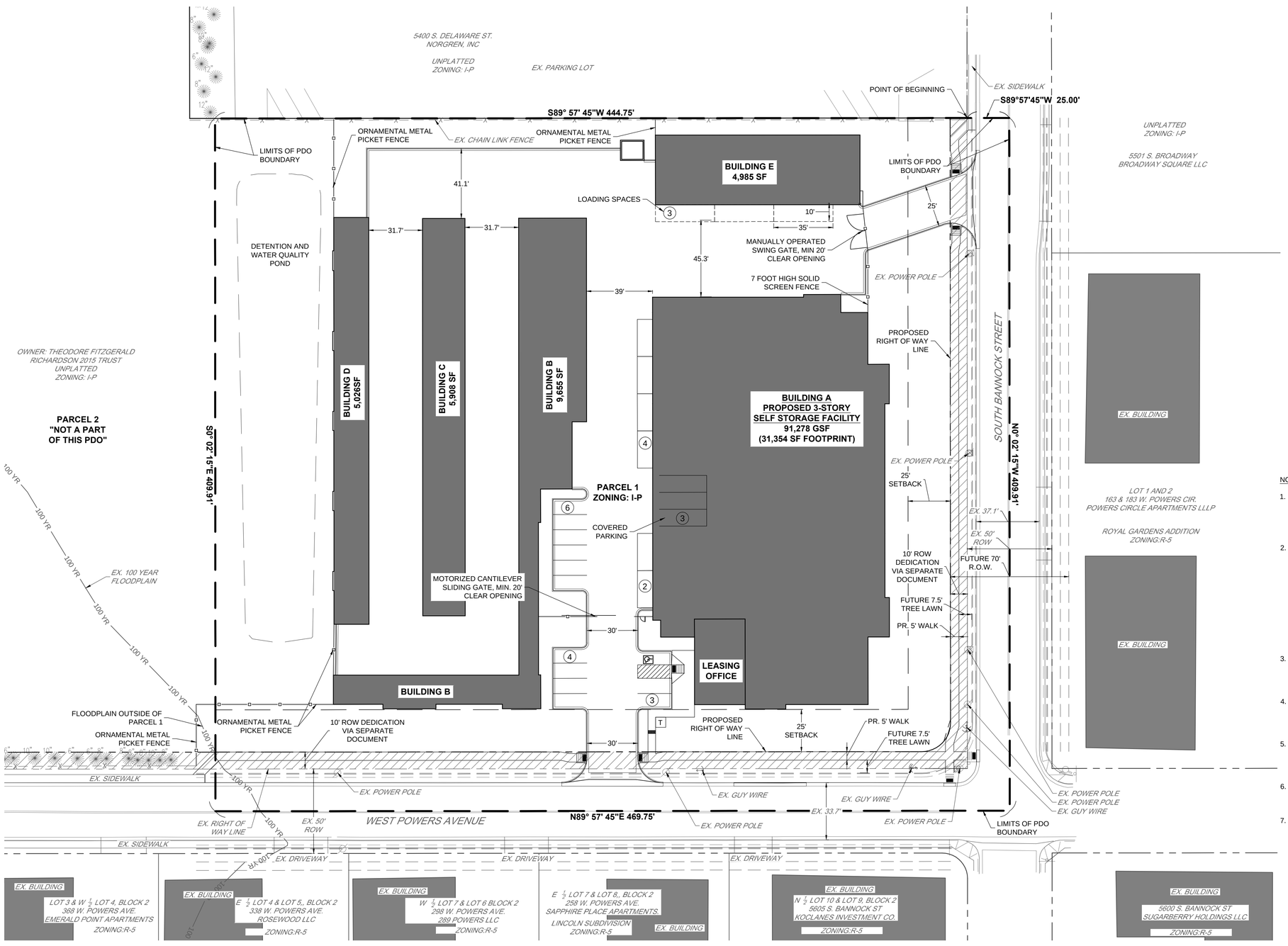
Drawing No.
01

TED RICHARDSON DEVELOPMENT

PLANNED DEVELOPMENT OVERLAY

A PORTION OF PLOTS 33, 34, 43, AND 44, INTERURBAN ADDITION, TOGETHER WITH A PORTION OF VACATED SECOND AVENUE AND VACATED ALLEY
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO.

PDO 17-0002



EXISTING LEGEND

- EXISTING PROPERTY LINE
- EXISTING R.O.W.
- EXISTING LOT LINE
- EXISTING EASEMENT
- EDGE OF PAVEMENT
- CURB AND GUTTER
- EXISTING CHAIN LINK FENCE
- 100 YR — EXISTING 100 YEAR FLOODPLAIN

PROPOSED LEGEND

- PROPOSED PROPERTY LINE
- PROPOSED R.O.W.
- PROPOSED SETBACK
- PROPOSED EASEMENT
- PROPOSED CURB AND GUTTER
- PROPOSED FENCE
- PDO LIMIT LINE

BUILDING GROSS SQUARE FOOTAGE DATA

BUILDING A:

FIRST FLOOR -	29,962 SF
SECOND FLOOR -	29,962 SF
THIRD FLOOR -	31,354 SF
TOTAL -	91,278 SF

BUILDING B - 9,655 SF
BUILDING C - 5,908 SF
BUILDING D - 5,026 SF
BUILDING E - 4,985 SF
GRAND TOTAL - 116,852 SF

NOTES:

1. AT THE TIME OF FINAL SITE DEVELOPMENT PLAN THE SIZE AND LOCATION OF THE BUILDINGS, DRAINAGE AND WATER QUALITY FACILITIES, AND OTHER SITE FEATURES WILL BE EVALUATED IN DETAIL BY CITY STAFF. THE LOCATION OF THE WATER QUALITY AND DETENTION FACILITY DEPICTED IS PRELIMINARY AND FOR ILLUSTRATIVE PURPOSES ONLY.
2. THE EXISTING MONOLITHIC CURB, GUTTER, AND WALK ADJACENT TO W. POWERS AVENUE WILL REMAIN. ANY DAMAGED, SETTLED, OR DISPLACED AREAS WILL BE REMOVED AND REPLACED AT THE TIME OF SITE DEVELOPMENT. A NEW FIVE FOOT WIDE DETACHED SIDEWALK SHALL BE INSTALLED WITHIN THE NEWLY DEDICATED STREET RIGHT-OF-WAY, IMMEDIATELY SOUTH OF THE NEW PROPERTY LINE OF W. POWERS AVENUE. ON S. BANNOCK STREET THE EXISTING CURB AND GUTTER WILL REMAIN. ANY DAMAGED, SETTLED, OR DISPLACED AREAS OF CURB AND GUTTER WILL BE REMOVED AND REPLACED AT THE TIME OF SITE DEVELOPMENT. THE EXISTING SIDEWALK ALONG THE S. BANNOCK STREET FRONTAGE WILL BE REMOVED AND A NEW FIVE FOOT WIDE DETACHED WALK SHALL BE INSTALLED WITHIN THE NEWLY DEDICATED STREET RIGHT-OF-WAY IMMEDIATELY EAST OF THE NEW WEST PROPERTY LINE OF S. BANNOCK STREET.
3. AT THE TIME OF SITE DEVELOPMENT THE EXISTING CURB RETURN AT THE NORTHWEST CORNER OF S. BANNOCK STREET AND W. POWERS AVENUE WILL BE REMOVED AND A NEW 20' FLOWLINE RADIUS CURB RETURN WITH DIRECTIONAL A.D.A. COMPLIANT SIDEWALK RAMPS SHALL BE INSTALLED.
4. THE S. BANNOCK STREET AND THE W. POWERS AVENUE RIGHT-OF-WAY DEDICATIONS WILL BE COMPLETED FOR THE S. BANNOCK STREET AND THE W. POWERS AVENUE ENTIRE FRONTAGE OF PROPOSED PARCEL 1 BY SEPARATE INSTRUMENT PRIOR TO THE RECORDING OF THE SITE DEVELOPMENT PLAN.
5. THE CURB CUT LOCATIONS SHOWN ON THIS PLAN ARE ILLUSTRATIVE AND PRELIMINARY ONLY. THE ACTUAL ACCESS LOCATIONS TO THE SITE FROM S. BANNOCK ST. AND FROM W. POWERS AVENUE SHALL BE ADJUSTED AS REQUIRED BY THE CITY DURING THE SDP REVIEW PROCESS.
6. ALL PROPOSED SIDEWALK RAMPS SHALL BE LOCATED ENTIRELY WITHIN THE PUBLIC STREET RIGHT-OF-WAY OR A PERMANENT UTILITY AND ROADWAY PURPOSES EASEMENT SHALL BE PROVIDED TO INCLUDE THE RAMPS.
7. AT TIME OF FINAL SITE DEVELOPMENT PLAN, THE UNDERGROUND PLACEMENT OF OVERHEAD UTILITIES WILL BE ADDRESSED IN COMPLIANCE WITH CITY CODE SECTION 10-4-1(E).

N

0 15 30 60

SCALE: 1" = 30'

Date	Submission / Revision
01/26/2017	PLANNED DEVELOPMENT OVERLAY
03/14/2017	INTAKE REVIEW
05/02/2017	RESUBMITTAL
05/17/2017	RESUBMITTAL

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10200 E. Girard Avenue, #C-210
Littleton, Colorado 80231
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PLANNED DEVELOPMENT OVERLAY

TED RICHARDSON DEVELOPMENT

W POWERS AVE & S BANNOCK ST
LITTLETON, COLORADO

Design Project No.
17-903

Drawing Title
ILLUSTRATIVE SITE PLAN

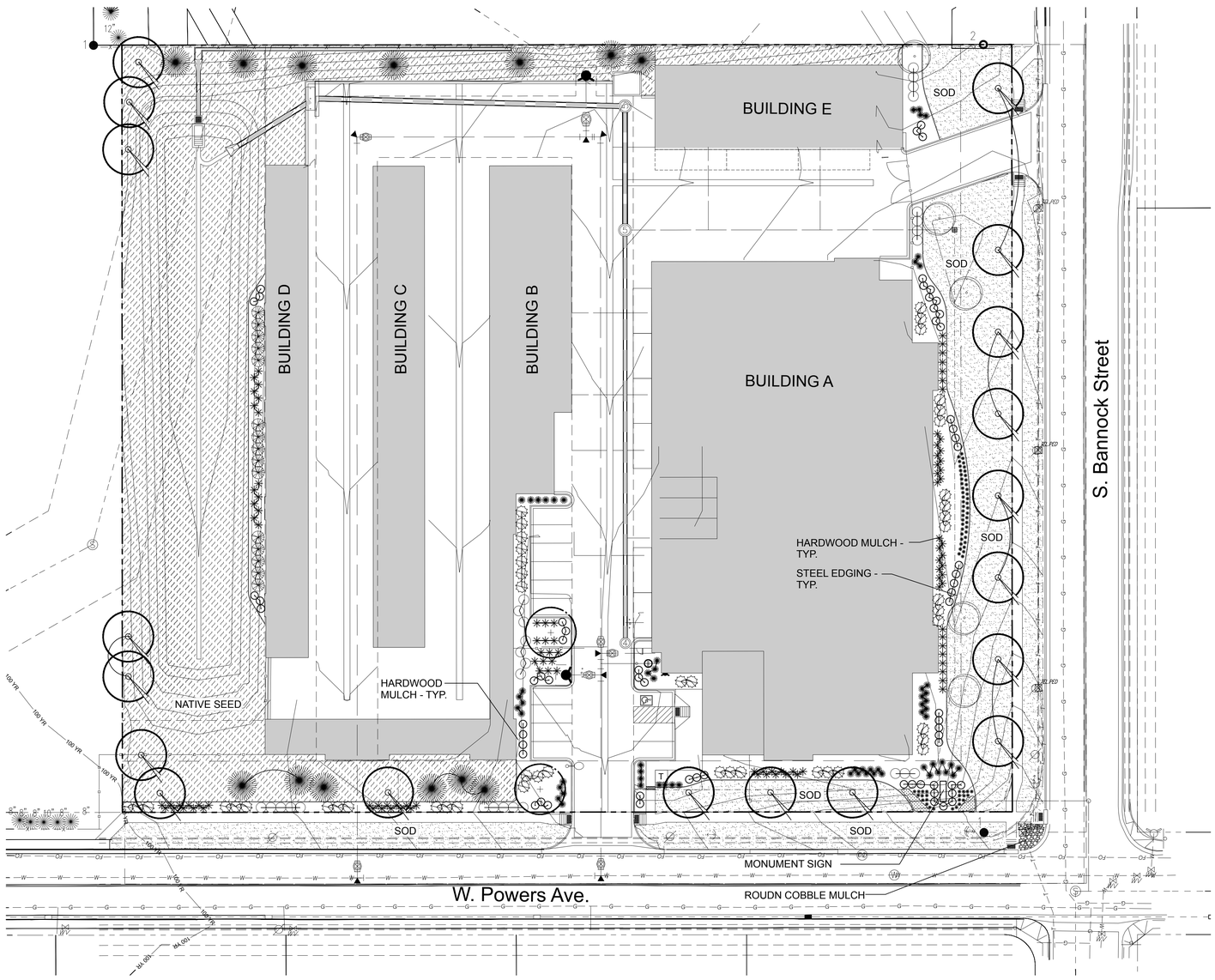
Drawing No.
02

TED RICHARDSON DEVELOPMENT

PLANNED DEVELOPMENT OVERLAY

A PORTION OF PLOTS 33, 34, 43, AND 44, INTERURBAN ADDITION, TOGETHER WITH A PORTION OF VACATED SECOND AVENUE AND VACATED ALLEY LOCATED IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO.

PDO 17-0002



ILLUSTRATIVE LANDSCAPE PLAN

0" 15' 30' 60' 90'

SCALE 1" = 30' - 0"

NORTH

LEGEND:

TREES

DECIDUOUS TREES

ORNAMENTAL TREE

EVERGREEN TREE

UPRIGHT EVERGREEN TREE

SHRUBS & ORNAMENTAL GRASSES

GROUND COVER

PERENNIALS

NATIVE SEED

30% EPHRAIM CRESTED WHEATGRASS

LOW GROW MIX
MIX RATIO:

25% SHEEP FESCUE
20% PERENNIAL RYE
15% CHEWINRS FESCUE
10% CANADA BLUEGRASS

SEEDING RATE: 40 lbs/acre

LOCALLY AVAILABLE FESCUE SOD

4"-6" ROUND COBBLE MULCH

STEEL EDGING

LANDSCAPE DATA:

TOTAL SITE AREA	162,929 SF.
BUILDING FOOTPRINT AREA (including overhang)	56,928 SF.
UNOBSTRUCTED OPEN SPACE	57,415 - 35.2% OF TOTAL SITE AREA

MUNICIPAL CODE REQUIREMENT:

10-5-7 (A) PARKING AREAS		
AT LEAST 5% OF THE INTERIOR PARKING LOT SHALL BE LANDSCAPED IF THE LOT CONTAINS 15 OR MORE SPACES.		
PARKING PROVIDED	13 STALLS	CODE SECTION NOT APPLICABLE

NOTE:

LANDSCAPE MATERIALS DEPICTED ON THIS CONCEPTUAL LANDSCAPE PLAN ARE FOR GENERAL CONFORMANCE WITH CITY CODE AND MAY BE MODIFIED BY THE CITY LANDSCAPE MANAGER THROUGH THE SITE DEVELOPENT PLAN (SDP) PROCESS.

Date	Submission / Revision
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03/14/2017	INTAKE REVIEW
05/02/2017	RESUBMITTAL
05/17/2017	RESUBMITTAL

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STACKlot

PLANNED DEVELOPMENT OVERLAY

TED RICHARDSON DEVELOPMENT

W POWERS AVE & S BANNOCK ST
LITTLETON, COLORADO

Design Project No.
17-903

Drawing Title
ILLUSTRATIVE LANDSCAPE PLAN

Drawing No.
03

TED RICHARDSON DEVELOPMENT

PLANNED DEVELOPMENT OVERLAY

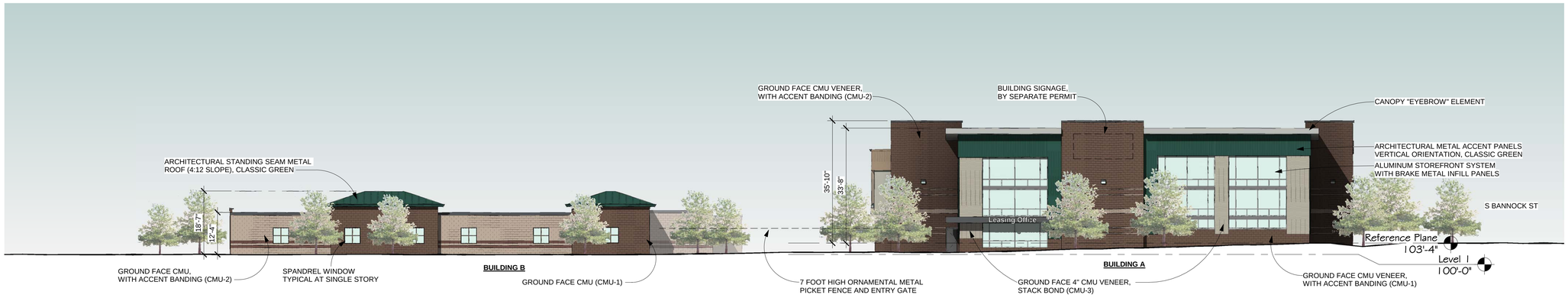
A PORTION OF PLOTS 33, 34, 43 AND 44, INTERURBAN ADDITION, TOGETHER WITH A PORTION OF VACATED SECOND AVENUE AND VACATED ALLEY
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO.

PDO 17-0002

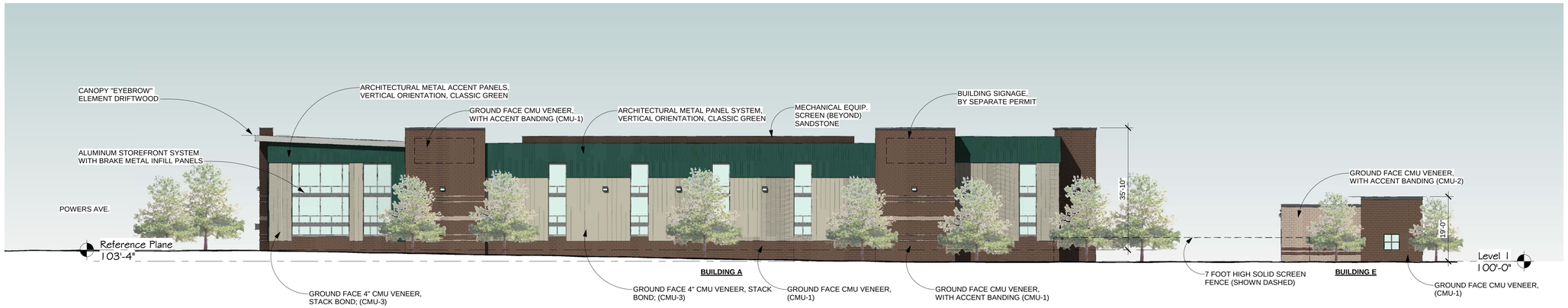
ENGINEER'S CERTIFICATION:
THE GRADES SHOWN ON THE BUILDING ELEVATION DRAWINGS ARE THE SAME AS THE GRADES SHOWN ON THE FINAL GRADING PLAN.

SIGNATURE_____

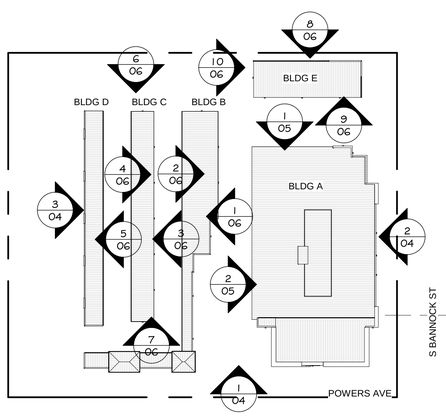
DATE_____



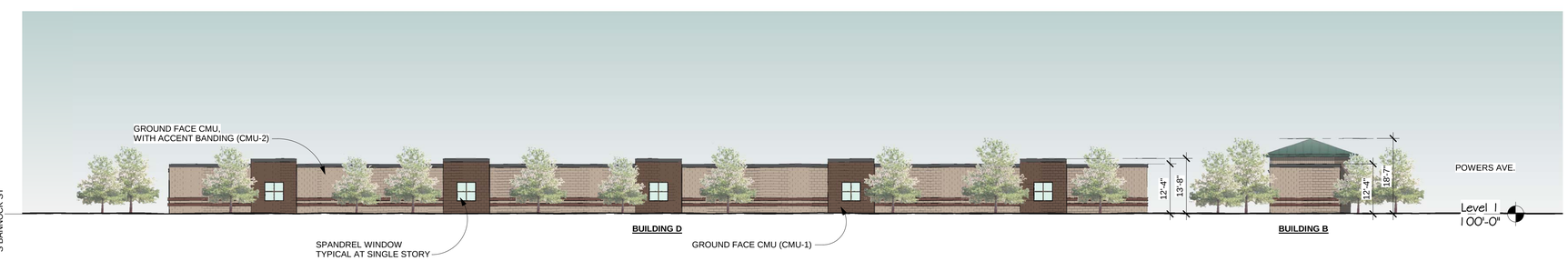
1 **Overall Illustrative South Elevation (Powers Ave.)**
1/16" = 1'-0"



2 **Overall Illustrative East Elevation (S Bannock St)**
1/16" = 1'-0"



KEY PLAN



3 **Overall Illustrative West Elevation (S Delaware St)**
1/16" = 1'-0"

Date	Submission / Revision
01/26/2017	**PLANNED DEVELOPMENT OVERLAY**
3/14/2017	INTAKE REVIEW
5/2/2017	RESUBMITTAL
5/17/2017	RESUBMITTAL

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TED RICHARDSON DEVELOPMENT
W POWERS AVE AND S BANNOCK ST
LITTLETON, COLORADO

Design Project No.
17-903

Drawing Title
ILLUSTRATIVE BUILDING ELEVATIONS

Drawing No.
04

TED RICHARDSON DEVELOPMENT

PLANNED DEVELOPMENT OVERLAY

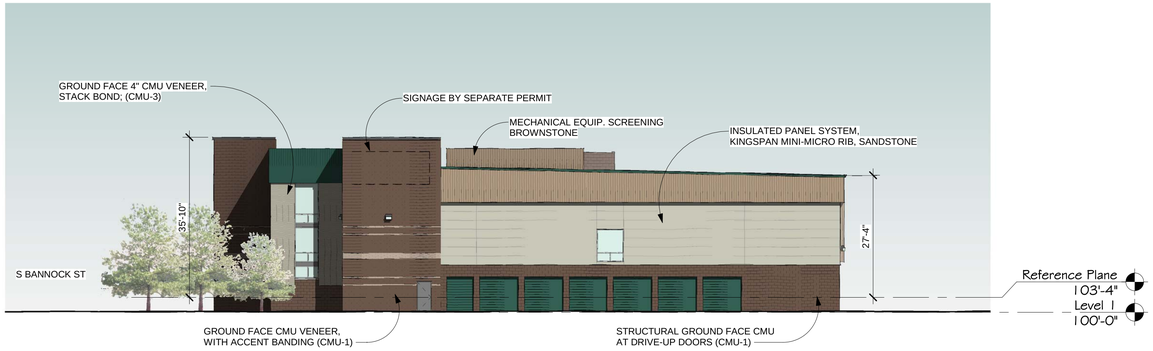
A PORTION OF PLOTS 33, 34, 43 AND 44, INTERURBAN ADDITION, TOGETHER WITH A PORTION OF VACATED SECOND AVENUE AND VACATED ALLEY
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO.

PDO 17-0002

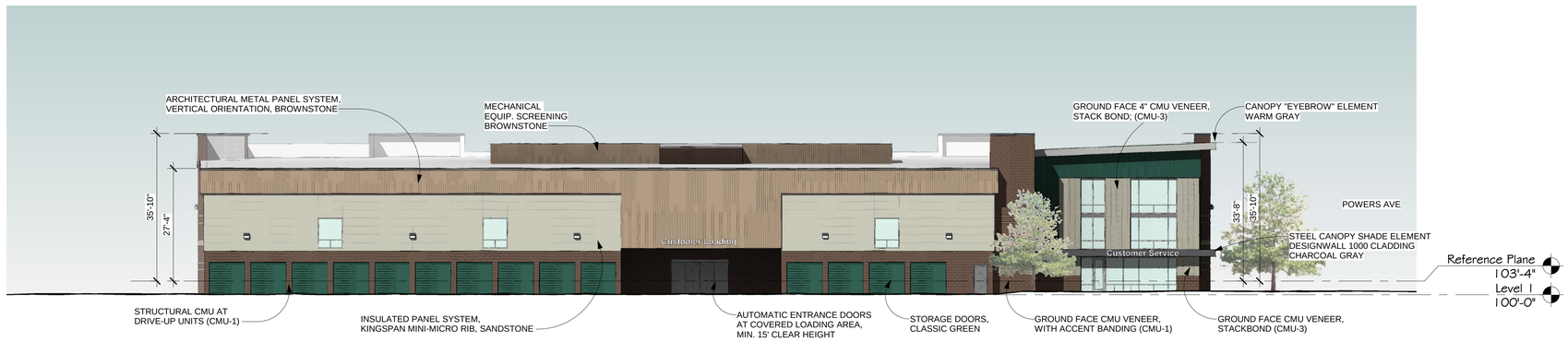
ENGINEER'S CERTIFICATION:
THE GRADES SHOWN ON THE BUILDING ELEVATION DRAWINGS ARE THE SAME AS THE GRADES SHOWN ON THE FINAL GRADING PLAN.

SIGNATURE_____

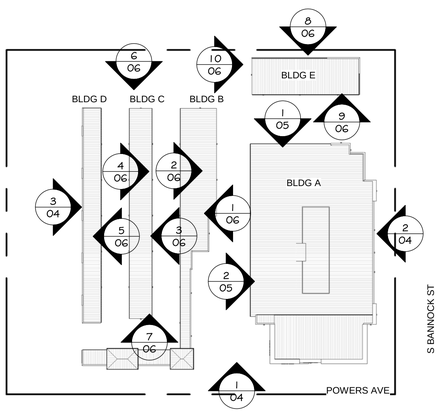
DATE_____



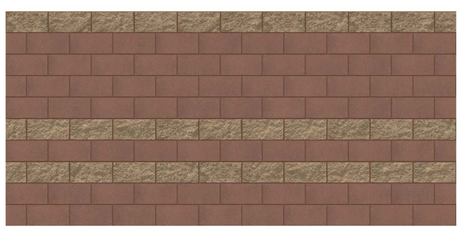
1 **Building A - Illustrative North Elevation**
1/16" = 1'-0"



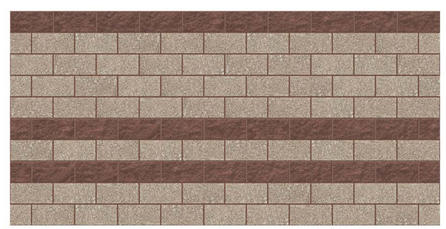
2 **Building A - Illustrative West Elevation**
1/16" = 1'-0"



KEY PLAN



CMU 1 - GROUND FACE CMU VENEER WITH ACCENT BANDING
RUNNING BOND - 8" X 16"



CMU 2 - GROUND FACE CMU VENEER WITH ACCENT BANDING
RUNNING BOND - 8" X 16"

CMU 3 - GROUND FACE CMU VENEER
STACK BOND - 4" X 16"

COLOR PALLET:

WARM GRAY
SANDSTONE
BROWNSTONE
CHARCOAL GRAY
CLASSIC GREEN

Concept Material Board

Date	Submission / Revision
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5/17/2017	RESUBMITTAL

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TED RICHARDSON DEVELOPMENT
W POWERS AVE AND S BANNOCK ST
LITTLETON, COLORADO

Design Project No.
17-903

Drawing Title
ILLUSTRATIVE BUILDING ELEVATIONS

Drawing No.
05

TED RICHARDSON DEVELOPMENT

PLANNED DEVELOPMENT OVERLAY

A PORTION OF PLOTS 33, 34, 43 AND 44, INTERURBAN ADDITION, TOGETHER WITH A PORTION OF VACATED SECOND AVENUE AND VACATED ALLEY
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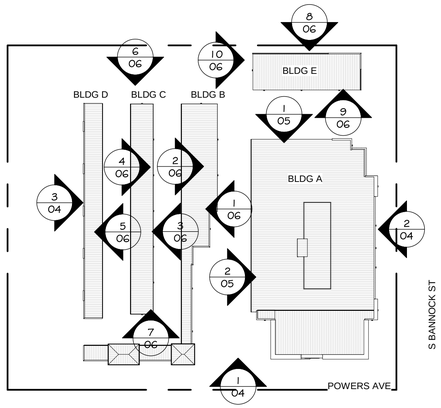
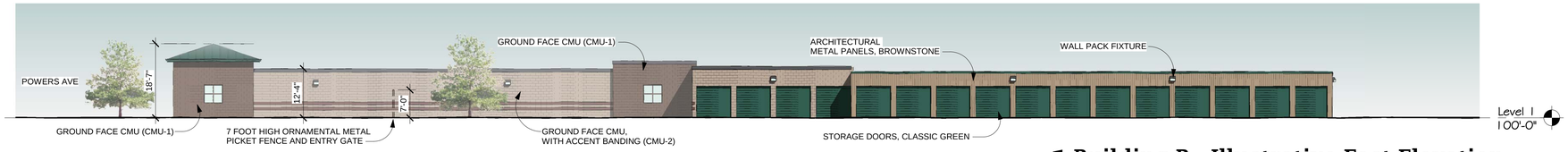
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO.

PDO 17-0002



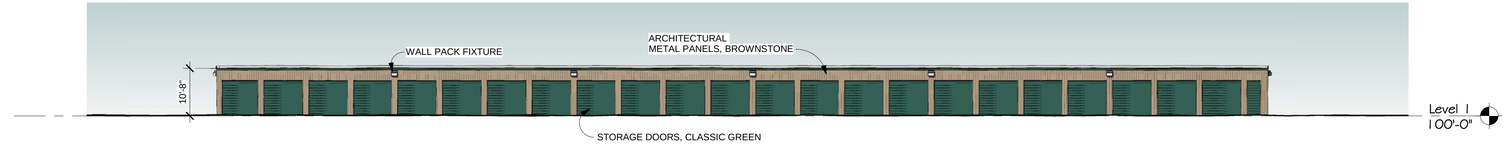
KEY PLAN



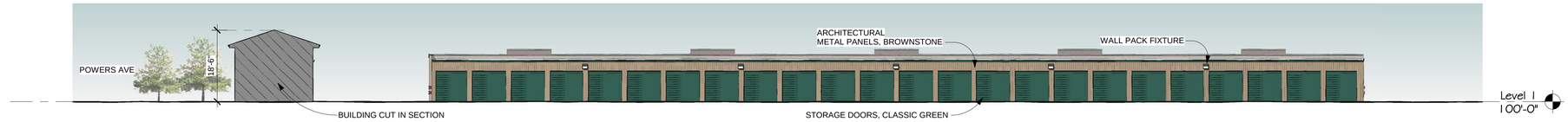
1 Building B - Illustrative East Elevation
1/16" = 1'-0"

2 Building B - Illustrative West Elevation
1/16" = 1'-0"

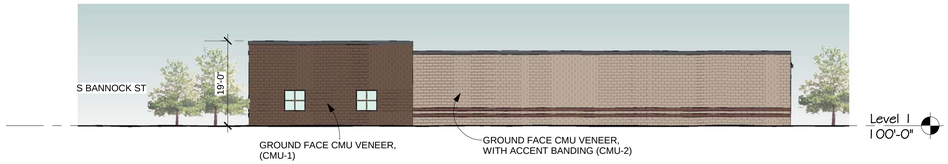
3 Building C - Illustrative East Elevation
1/16" = 1'-0"



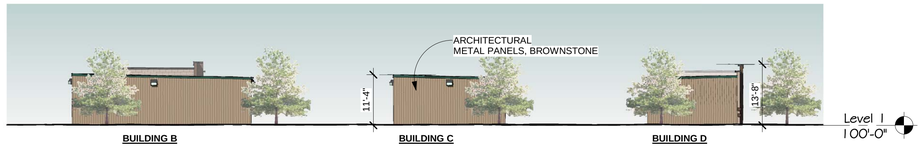
4 Building C - West Elevation
1/16" = 1'-0"



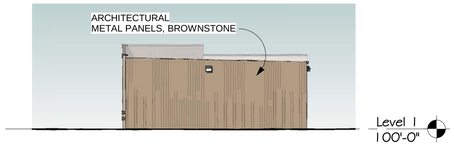
5 Building D - East Elevation
1/16" = 1'-0"



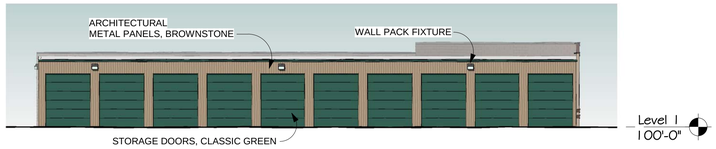
8 Building E - North Elevation
1/16" = 1'-0"



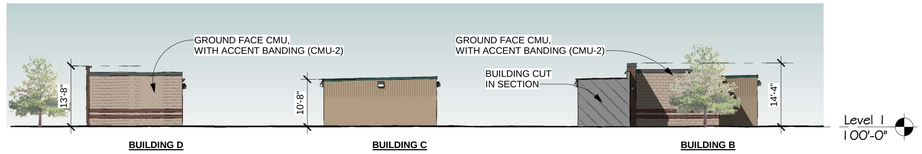
6 Overall Buildings B, C, D North Elevation
1/16" = 1'-0"



10 Bldg E - West Elevation
1/16" = 1'-0"



9 Building E - South Elevation
1/16" = 1'-0"



7 Overall Buildings B, C, D South Elevation
1/16" = 1'-0"

ENGINEER'S CERTIFICATION:
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SIGNATURE_____

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TED RICHARDSON DEVELOPMENT
W POWERS AVE AND S BANNOCK ST
LITTLETON, COLORADO

Design Project No.
17-903

Drawing Title
ILLUSTRATIVE BUILDING ELEVATIONS

Drawing No.
06

TED RICHARDSON DEVELOPMENT

PLANNED DEVELOPMENT OVERLAY

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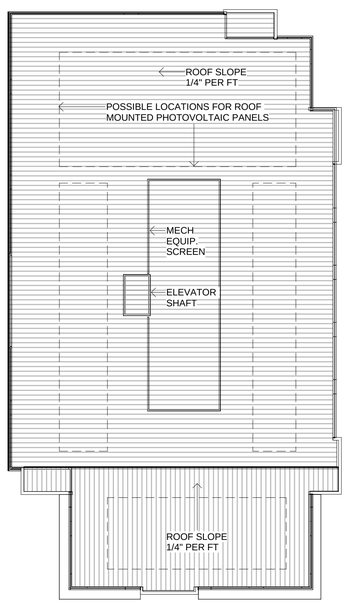
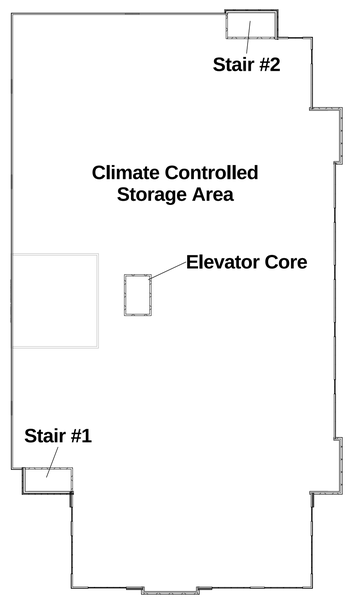
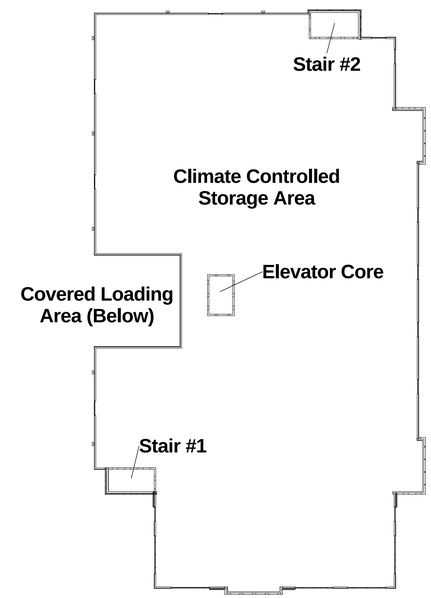
PDO 17-0002



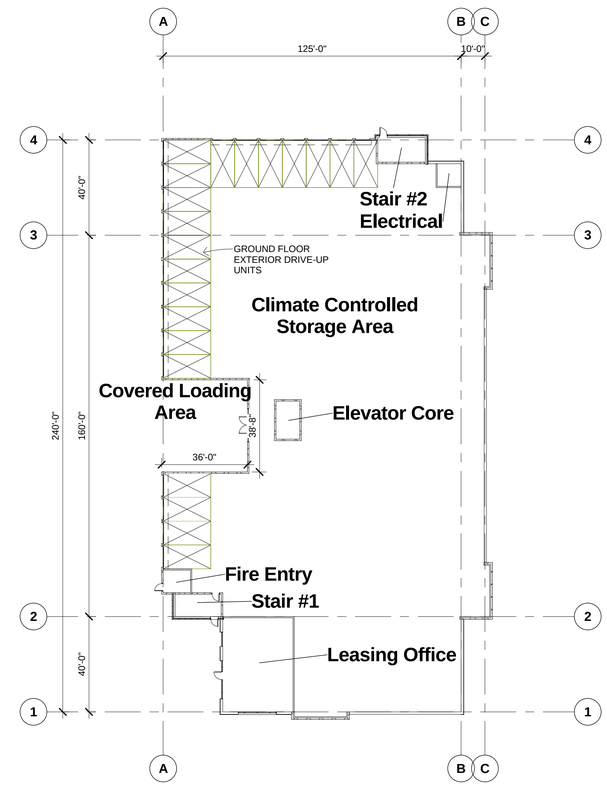
4 ROOF PLAN
1" = 30'-0"



3 Third Floor Plan
1" = 30'-0"



2 Second Floor Plan
1" = 30'-0"



1 First Floor Plan
1" = 30'-0"

Date	Submission / Revision
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3/14/2017	INTAKE REVIEW
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PLANNED DEVELOPMENT OVERLAY
TED RICHARDSON DEVELOPMENT
W POWERS AVE AND S BANNOCK ST
LITTLETON, COLORADO

Design Project No.
17-903

Drawing Title
FLOOR PLANS

Drawing No.
07