

LEGAL DESCRIPTION

LOT 14, EXCEPT THE EAST 6 FEET OF ALLEY BLOCK 5,
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO
Also known as 5530 South Curtice Street, Littleton, Colorado 80120

INTENT STATEMENT:

PURPOSE OF PLANNED DEVELOPMENT
OVERLAY (PDO)
TO REDUCE THE SOUTH SETBACK
REQUIREMENT FROM 10.0 FEET TO
6.0 FEET, TO ALLOW THE ROOF
OVERHANG ON THE SOUTH TO ENCROACH
INTO THE REQUESTED SETBACK 18", TO
ALLOW THE FRONT PORCH TO ADHERE
TO THE PREDOMINANT BLOCK SETBACK
OF 16" INSTEAD OF 20", AND TO
INCREASE MAXIMUM BUILDING HEIGHT
FROM 30.0 FEET TO 31.0 FEET
UNDER TOWNHOME DEVELOPMENT
STANDARDS IN THE R-5 ZONE DISTRICT

SHEET INDEX:

- 1 of 3 COVER SHEET
- 2 of 3 ARCHITECTURAL SITE PLAN, OPEN SPACE DIAGRAM
- 3 of 3 EXTERIOR ELEVATIONS

PROJECT TEAM:

OWNER/DEVELOPER/APPLICANT

CRTI, LLC
MARG PIZZOFRERATO
5652 S. SYCAMORE ST.
LITTLETON, CO 80120
303-418-0100

ARCHITECT:

M-A ARCHITECTS
2329 W. MAIN STREET #301
LITTLETON, COLORADO 80120
303-730-7300 (TEL.)
303-730-8300 (FAX)
CONTACTS: JOHN MATTHEWS
BRAD EICKMAN

CIVIL ENGINEER:

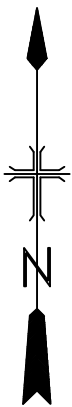
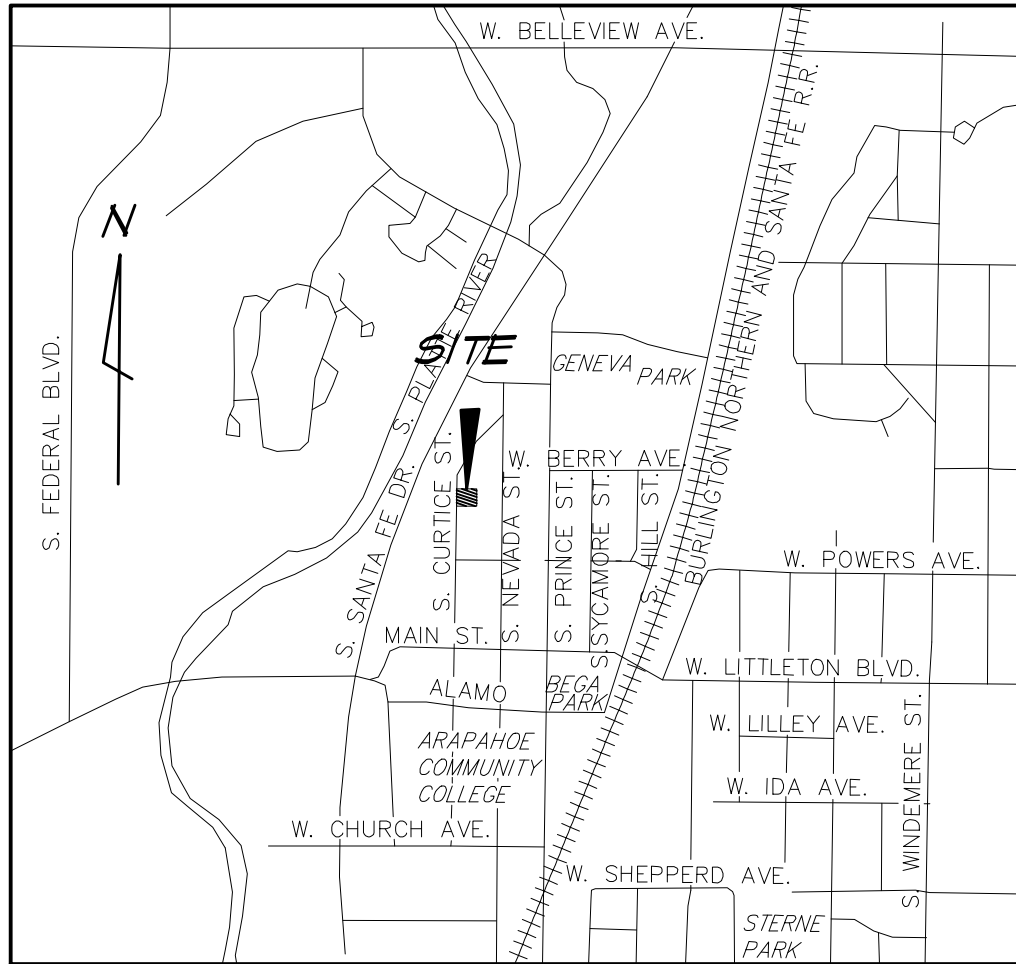
DT ENGINEERING, INC.
10971 UTICA CT.
WESTMINSTER, COLORADO 80031
303-601-8420 (TEL.)
CONTACT: DAVID B. TEETS, PE
PE # 36925

SURVEYOR:

LANGE LAND SURVEYS
5511 WEST 36TH AVE., SUITE 240
ARVADA, COLORADO 80002
720-242-9732 (TEL.)
CONTACT: JONATHAN R. LANGE
FLS # 37908

VICINITY MAP

NOT TO SCALE



SOUTH CURTICE DUPLEX
PLANNED DEVELOPMENT OVERLAY

LOT 14, EXCEPT THE EAST 6 FEET OF ALLEY BLOCK 5, LITTLETON
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO
SITE AREA: 0.137 ACRES
CASE NUMBER: PDO16-0004



ZONING INFORMATION:

TYPE	'RS' TOWNHOUSE ZONING REQUIREMENTS	PDO PROPOSAL
PRIMARY USES ALLOWED	2 UNIT TOWNHOUSE <ul style="list-style-type: none">TWO JOINED TOWNHOMESATTACHED 2 CAR GARAGES, ONE FOR EACH UNIT.	2 UNIT TOWNHOUSE <ul style="list-style-type: none">TWO JOINED TOWNHOMESATTACHED 2 CAR GARAGES, ONE FOR EACH UNIT.
MINIMUM LOT SIZE	2500 S.F.	2500 SQUARE FEET
MINIMUM LOT AREA PER RESIDENTIAL UNIT	2500 SQUARE FEET	2483.8 SQUARE FEET
MAXIMUM RESIDENTIAL DENSITY	5.9 UNITS (43.56 DWELLING UNITS PER GROSS ACRE)	2.0 UNITS (14.54 DWELLING UNITS PER GROSS ACRE)
MINIMUM NON-OBSTRUCTED OPEN SPACE CALCULATED AS ENTIRE SITE	25 PERCENT OF OVERALL SITE OR 25% OF EACH LOT.	25 PERCENT OF OVERALL SITE
MAXIMUM HEIGHT OF STRUCTURES	30 FEET	31'-0" TO AVERAGE HEIGHT OF HIGHEST GABLE
FRONT BUILDING SETBACK	FRONT: 20' AS DETERMINED BY CITY OF LITTLTON ZONING CODE	FRONT: 16'
REAR BUILDING SETBACK	REAR 20' AS DETERMINED BY CITY OF LITTLTON ZONING CODE	REAR 20' AS DETERMINED BY CITY OF LITTLTON ZONING CODE
SIDE BUILDING SETBACKS	NORTH SIDE 5', SOUTH SIDE 10' AS DETERMINED BY CITY OF LITTLTON ZONING CODE	NORTH SIDE 5', SOUTH SIDE 6' PLUS ALLOWANCE OF OVERHANG TO ENCROACH INTO SETBACK 18' INTERIOR SIDE SETBACK 0'
PARKING REQUIREMENTS	2 SPACES PER UNIT	2 SPACES PER UNIT

OWNERSHIP AND APPROVAL
CERTIFICATION SIGNATURE:

OWNERSHIP CERTIFICATION:

I, _____, OWNER, OR DESIGNATED AGENT THEREOF,
DO HEREBY AGREE THAT THE ABOVE DESCRIBED PROPERTY WILL
BE DEVELOPED AS A PLANNED DEVELOPMENT OVERLAY (PDO) IN
ACCORDANCE WITH THE USES, RESTRICTIONS, AND CONDITIONS
CONTAINED IN THIS PLAN. FURTHER, THE CITY OF LITTLETON IS
HEREBY GRANTED PERMISSION TO ENTER ONTO SAID PROPERTY FOR
THE PURPOSES OF CONDUCTING INSPECTIONS TO ESTABLISH
COMPLIANCE OF THE DEVELOPMENT OF THE PROPERTY WITH ON-SITE
IMPROVEMENTS INCLUDING BUT NOT LIMITED TO, LANDSCAPING,
DRAINAGE FACILITIES, PARKING AREAS, AND TRASH ENCLOSURES. IF
UPON INSPECTION THE CITY FINDS DEFICIENCIES IN THE ON-SITE
IMPROVEMENTS AND, AFTER PROPER NOTICE, THE DEVELOPER SHALL
TAKE APPROPRIATE CORRECTIVE ACTION. FAILURE TO TAKE SUCH
CORRECTIVE ACTION SPECIFIED BY THE CITY SHALL BE GROUNDS
FOR THE CITY TO APPLY ANY OR ALL OF ANY REQUIRED FINANCIAL
ASSURANCE TO CAUSE THE DEFICIENCIES TO BE BROUGHT INTO
COMPLIANCE WITH THIS PDO PLAN, OR WITH ANY SUBSEQUENT
AMENDMENTS HERETO.

SIGNATURE OF OWNER OR AGENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY
OF _____, 20____.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

CITY ATTORNEY APPROVAL:

APPROVED AS TO FORM:

CITY ATTORNEY _____

PLANNING COMMISSION APPROVAL:

APPROVED THIS _____ DAY OF _____, 20____,
BY THE LITTLETON CITY PLANNING COMMISSION.

PLANNING COMMISSION CHAIR

ATTEST:

PLANNING COMMISSION SECRETARY

RECORDING CERTIFICATION:

THIS DOCUMENT WAS FILED FOR RECORDS IN THE OFFICE OF THE
COUNTY CLERK AND RECORDER OF COUNTY AT M, ON THE DAY OF
A.O. 20_____, IN BOOK _____, PAGE _____, MAP_____,
RECEPTION NUMBER _____

COUNTY CLERK AND RECORDER

BY:

DEPUTY

PDO DESIGN CRITERIA
PROPOSED DESIGN STANDARDS

THE SITE PLAN AND ELEVATIONS WITHIN A PDO ARE CONCEPTUAL.
AS SUCH, THE FOLLOWING DESIGN CRITERIA BEYOND THE PDOS AND
ZONING REQUIREMENTS WILL BE PART OF THE PDO.

- BUILDING FACADES SHALL BE ORIENTED TOWARDS SOUTH CURTICE
STREET.
- GARAGES SHALL BE AT THE REAR OF THE LOT ALONG THE ALLEY.
- THE STRUCTURE SHALL INCLUDE PORCHES FOR EACH UNIT, ACCENT
MATERIAL IN GABLES, LARGE VERTICALLY ORIENTED WINDOWS,
OVERHANGING EAVES AND MATERIAL AND TEXTURAL CHANGES.
- THE PREDOMINANT BUILDING MATERIALS SHALL BE BRICK VENEER
AND PAINTED SIDING. THE PRIMARY EXTERIOR WALL MATERIAL IS
HORIZONTAL LAP SIDING WITH 6 INCH EXPOSURE.
- AIR CONDITIONING UNITS SHALL BE MOUNTED IN THE SIDEYARDS
AND SCREENED.
- THE FRONT YARDS SHALL BE LANDSCAPED COURTYARDS WITH
LIVING MATERIAL AND WALKWAYS.
- UTILITY METERS SHALL BE PLACED ON THE SIDES OF THE BUILDINGS.

revision		
no.	date	by
PDO RE-SUB 2-8-2017		
PDO RE-SUB 8-20-2017		
PDO RE-SUB 4-7-2017		



M-A ARCHITECTS



ARCHITECTURE & PLANNING

THE LITTLETON
OFFICE BUILDING

2329 WEST MAIN
STREET SUITE 301
LITTLETON, CO 80120
TEL 303 730 7300
FAX 303 730 8300

SOUTH CURTICE STREET DUPLEX

5530 South Curtice Street
Littleton, Colorado 80120

sheet title	
COVER SHEET	
date	PDO SUBMITTAL 12-15-2016
drawn	MR
checked	
sheet	
1 of 3	

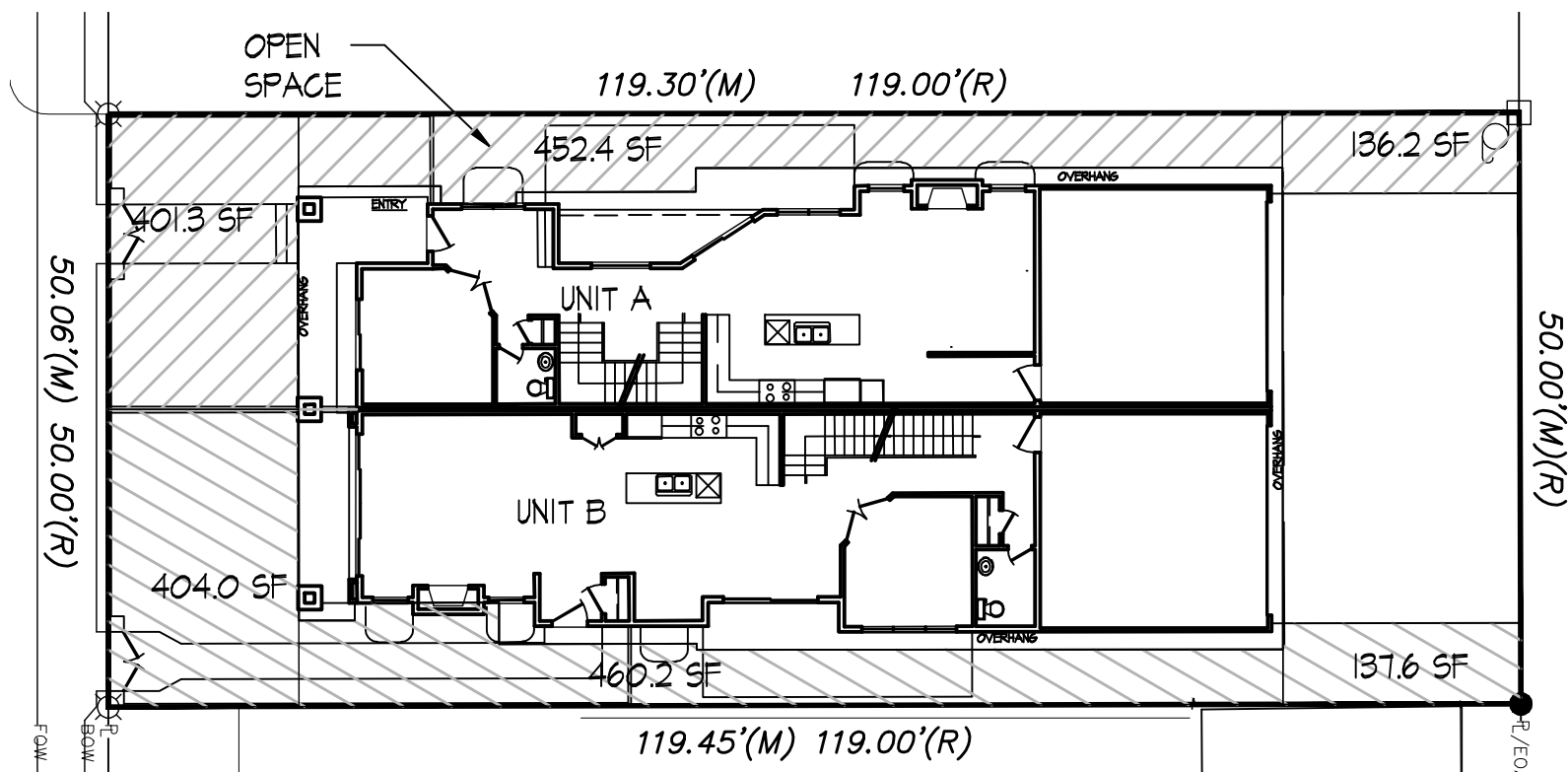
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LEGEND

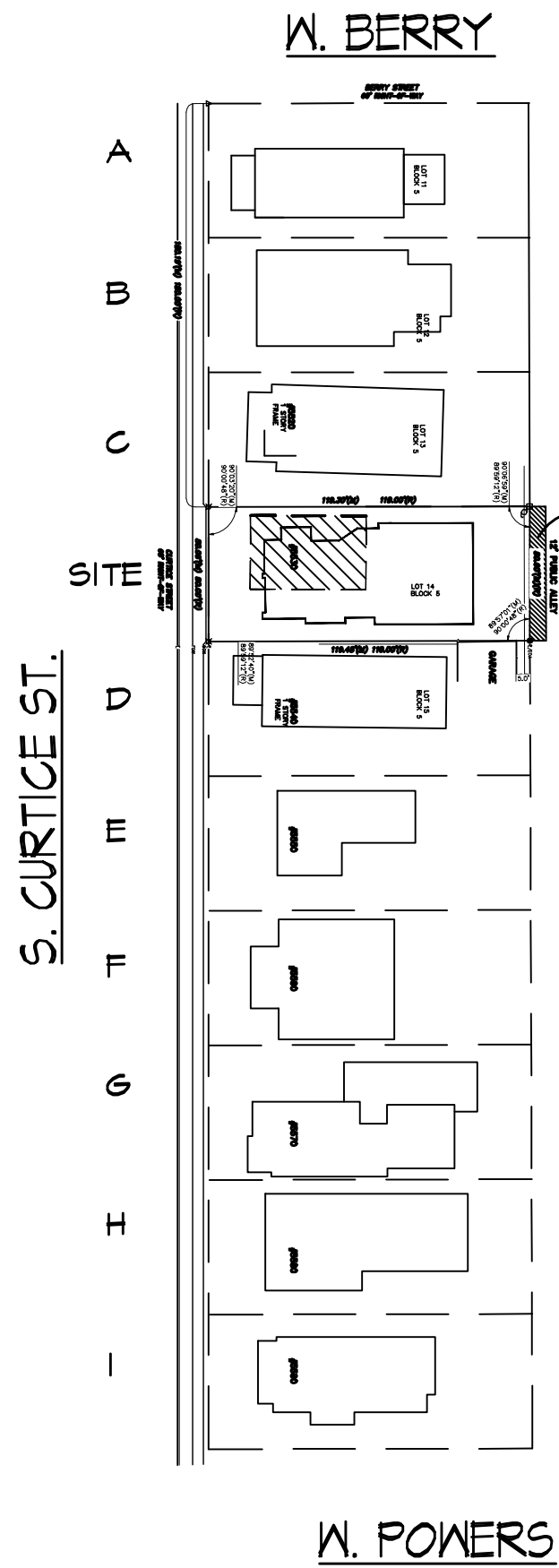
- PROPERTY LINE
- ACCESSIBLE ENTRANCE
- ACCESSIBLE ROUTE
- ACCESSIBLE PARKING
- WATER -RE: CIVIL DWS, C4.1
- SANITARY SEWER -RE: CIVIL DWS, C4.1
- ELECTRIC METER & SERVICE -RE: XCEL ENERGY DWS.5
- GAS METER & SERVICE -RE: XCEL ENERGY DWS.5
- A/C CONDENSING UNIT - INSTALL ON ROOFTOP TERRACE LEVEL

SOUTH CURTICE DUPLEX
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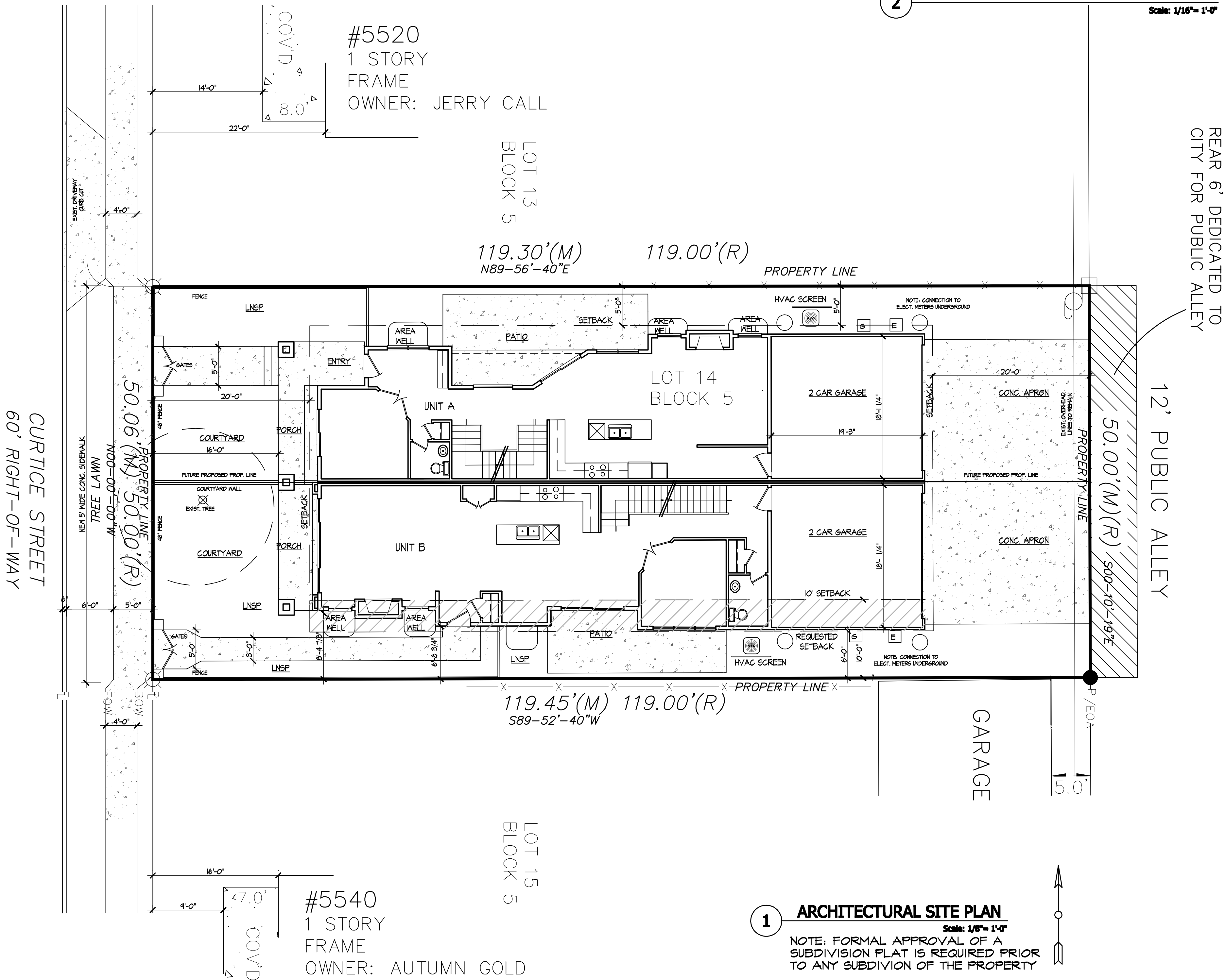
2 UNOBSTRUCTED OPEN SPACE DIAGRAM
Scale: 1/16" = 1'-0"



PREDOMINANT FRONT SETBACK DIAGRAM
NTS

SETBACKS	
8.33 FT.	
17.89 FT.	
14.00 FT.	
9.00 FT.	
25.50 FT.	
15.61 FT.	
14.50 FT.	
21.00 FT.	
18.25 FT.	
15.4 FT. EXIST.	
154.48 FT./10 = 15.45 FT AVERAGE SETBACK	

PER PREDOMINANT FRONT
SETBACKS, SECTION 10-4-(A)
OF THE ZONING CODE, THE
MINIMUM FRONT SETBACK
ESTABLISHED FOR THE SITE
IS 15.45'



1 ARCHITECTURAL SITE PLAN
Scale: 1/8" = 1'-0"
NOTE: FORMAL APPROVAL OF A
SUBDIVISION PLAT IS REQUIRED PRIOR
TO ANY SUBDIVISION OF THE PROPERTY

revision		
no.	date	by
PDO RE-SUB	2-8-2017	
PDO RE-SUB	3-20-2017	
PDO RE-SUB	4-7-2017	

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sheet title	
date	PDO SUBMITTAL 12-15-2016
drawn	MR
checked	
sheet	2 of 3

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BUILDING COLOR SCHEDULE

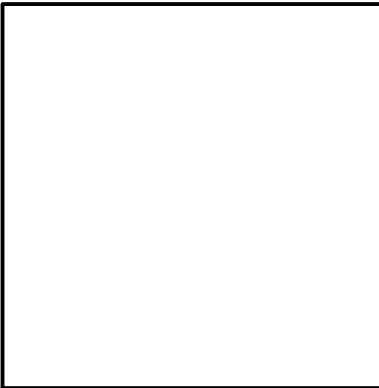
- [A] BRICK: GENERAL SHALE "BARNWOOD"
[B] BOARD AND BATTEN SIDING, DECORATIVE SHING. ACCENTS:
BENJAMIN MOORE PH-32 BRIARWOOD
[C] HORIZONTAL LAP SIDING: BENJAMIN MOORE CC-470
ROCKY ROAD
[D] FASCIA: BENJAMIN MOORE CC-542 MILLON
[E] ASPHALT SHING. FEATHERED WOOD
[F] NOTE: WINDOW FRAMES TO BE SANDTONE

ELEVATION GRADING CERTIFICATION

A. I., _____, a licensed engineer (license number) in the State of Colorado,
do hereby certify that the grades shown on the building elevations are the same as the grades
shown on the final grading plan.

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2/3/2017