

ANGELO'S VINEYARDS GENERAL PLANNED DEVELOPMENT PLAN AND REZONING

LOCATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH PM.
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO

CASE NO. PDP 15-0003

LEGAL DESCRIPTION

A TRACT OF LAND IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 29, TOWNSHIP 5 SOUTH, RANGE 68 WEST, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH IS 1312 FEET SOUTH AND 364 FEET EAST OF THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER; THENCE EAST 571.5 FEET TO THE NORTHWESTERLY LINE OF THE COUNTY ROAD; THENCE NORTHEASTERLY ALONG THE NORTHWESTERLY LINE OF SAID COUNTY ROAD 331.4 FEET; THENCE WEST 645.5 FEET; THENCE SOUTH 323 FEET TO THE TRUE POINT OF BEGINNING, KNOWN AS 6885 SOUTH SANTA FE DRIVE, LITTLETON, COLORADO

EXCEPT PARCEL CONVEYED TO COLORADO DEPARTMENT OF TRANSPORTATION AT THE SOUTHEAST CORNER OF THE PARCEL.

OWNER'S CERTIFICATION

I, _____, OWNER, OR DESIGNATED AGENT THEREOF, DO HEREBY AGREE THAT THE ABOVE DESCRIBED PROPERTY WILL BE DEVELOPED AS A PLANNED DEVELOPMENT IN ACCORDANCE WITH THE USES, RESTRICTIONS AND CONDITIONS CONTAINED IN THIS PLAN. FURTHER, THE CITY OF LITTLETON IS HEREBY GRANTED PERMISSION TO ENTER ONTO SAID PROPERTY FOR THE PURPOSES OF CONDUCTING INSPECTIONS TO ESTABLISH COMPLIANCE OF THE DEVELOPMENT OF THE PROPERTY WITH ON-SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, LANDSCAPING, DRAINAGE FACILITIES, PARKING AREAS AND TRASH ENCLOSURES. IF, UPON INSPECTION, THE CITY FINDS DEFICIENCIES IN THE ON-SITE IMPROVEMENTS AND, AFTER PROPER NOTICE, THE DEVELOPER SHALL TAKE APPROPRIATE CORRECTIVE ACTION. FAILURE TO TAKE SUCH CORRECTIVE ACTION SPECIFIED BY THE CITY SHALL BE GROUNDS FOR THE CITY TO APPLY ANY OR ALL OF ANY REQUIRED FINANCIAL ASSURANCE TO CAUSE THE DEFICIENCIES TO BE BROUGHT INTO COMPLIANCE WITH THIS PD PLAN, OR WITH ANY SUBSEQUENT AMENDMENTS HERETO.

BY: _____
CRAIG JONES, OWNER

SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 20____

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

CITY COUNCIL APPROVAL:

APPROVED THIS _____ DAY OF _____, 20____, BY THE LITTLETON CITY COUNCIL.

COUNCIL PRESIDENT

ATTEST:

CITY CLERK

RECORDING CERTIFICATION

THIS DOCUMENT WAS FILED FOR RECORDS IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF THE COUNTY OF _____, ON THE DAY OF _____, IN BOOK _____, PAGE _____, MAP _____, RECEPTION NUMBER _____.

COUNTY CLERK AND RECORDER

BY:

DEPUTY

I CERTIFY THAT THE REAL ESTATE RECORDS OF _____ COUNTY OR COUNTIES DO NOT IDENTIFY ANY MINERAL ESTATE OWNERS OR LESSEES FOR THE LAND WHICH IS THE SUBJECT OF THIS APPLICATION, ACCORDING TO THE LAND TITLE GUARANTEE COMPANY.

SIGNATURE OF OWNER AND / OR AGENT

ADDRESS

MINERAL ESTATE CERTIFICATION

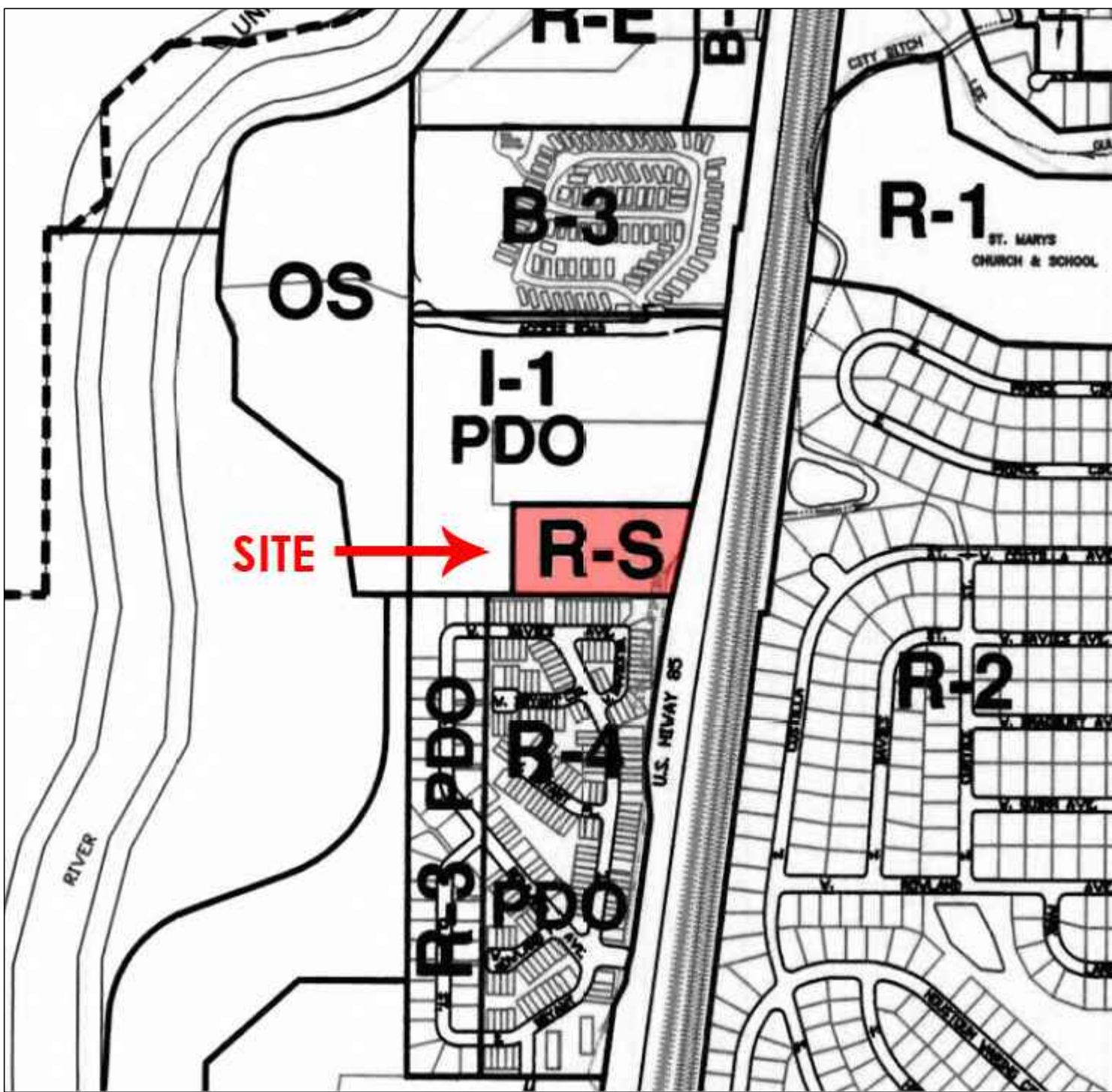
I HEREBY CERTIFY THAT NOTICE OF THE INITIAL PUBLIC HEARING ON THIS APPLICATION WAS MAILED TO THE LAST KNOWN ADDRESS OF THE OWNER OR LESSEES OF THE MINERAL ESTATE AS SHOWN IN THE REAL ESTATE RECORDS OF _____ COUNTY OR COUNTIES AS REQUIRED BY C.R.S. 24-65.5-103

SIGNATURE OF OWNER AND/OR AGENT

ADDRESS



VICINITY MAP



CURRENT ZONING MAP

ZONING REGULATIONS

SITE AREA	4.55 ACRES / 198,493 SF
MINIMUM LOT SIZE	.5 ACRES / 21,780 SF
ZONING	PD-C
UNOBSTRUCTED OPEN SPACE REQUIRED	20% MINIMUM
MAX F.A.R.	1:1
BUILDING SETBACKS	
FRONT SETBACK	
AT SANTA FE DRIVE	100 FEET
AT INTERIOR LOT(S)	20 FEET
SIDE SETBACK	
AT INTERIOR LOT(S)	20 FEET
ADJACENT RESIDENTIAL USE	50 FEET
REAR SETBACK	
AT INTERIOR LOT(S)	20 FEET
ADJACENT RESIDENTIAL USE	50 FEET
BUILDING HEIGHT	
MAXIMUM BUILDING HEIGHT	40 FEET
MAX. HEIGHT WITHIN 150 FT OF RESIDENTIAL	30 FEET
PARKING REQUIREMENTS	PROVIDED PER CITY CODE

INTRODUCTION

INFORMATION WITHIN THIS GENERAL PLANNED DEVELOPMENT PLAN (GPDP) IS ORGANIZED INTO THE FOLLOWING CATEGORIES:

SECTION 1 - GENERAL PROVISIONS

THE GENERAL PROVISIONS SECTION PROVIDES THE INTENT, APPLICABILITY AND DEFINITIONS NECESSARY TO INTRODUCE THE SITE DESIGN CHARACTERISTICS AND PARAMETERS.

SECTION 2 - DEVELOPMENT REGULATIONS

THE DEVELOPMENT REGULATIONS SECTION DESCRIBES THE ALLOWABLE USES FOR EACH PARCEL IN CONJUNCTION WITH THE LAND USE SUMMARY CHART INCLUDED ON SHEET 1 OF THIS GPDP AND OUTLINES SPECIFIC LAND USE REQUIREMENTS FOR EACH PARCEL. THE LAND USE SUMMARY CHART PROVIDES PARAMETERS FOR EACH OF THE PARCELS.

THE GRAPHICS USED TO ILLUSTRATE THIS GPDP ARE INTENDED TO DEPICT GENERAL LOCATIONS AND CONCEPTS. ACTUAL PLATS AND SITE PLANS MAY CONTAIN VARIATIONS IN THE ALIGNMENTS, AREAS AND SIZES SHOWN IN ORDER TO ACCOMMODATE:

- FINAL ROAD ALIGNMENTS AND LOCATION OF ACCESS POINTS
- FINAL CONFIGURATION OF PARCEL SIZES
- FINAL OPEN SPACE DESIGN
- SITE-SPECIFIC VEGETATION SLOPE AND DRAINAGE FEATURES

IN THE EVENT OF ANY CONFLICT BETWEEN THIS DOCUMENT AND ANY OTHER ORDINANCES, CODES, REGULATIONS, OR POLICIES, THIS DOCUMENT SHALL CONTROL, EXCEPT IN INSTANCES CONCERNING BUILDING CODE, FIRE CODE AND OTHER SAFETY ISSUES.

SHEET INDEX

- COVER SHEET
- EXISTING CONDITIONS MAP / SURVEY
- NOTE SHEET / DEVELOPMENT STANDARDS
- REZONING MAP
- ILLUSTRATIVE SITE PLAN
- CONCEPTUAL LOT 1' BUILDING ELEVATIONS
- CONCEPTUAL LOT 2' BUILDING ELEVATIONS

CURRENT OWNER:

ROBERT IDA
8776 NORTH 107TH STREET
LONGMONT, COLORADO 80504

APPLICANT:

CRAIG JONES / ANGELO'S TAVERNA
5856 ASPEN LEAF DRIVE
LITTLETON, COLORADO 80125

PROJECT TEAM

ARCHITECT:

J. EDWARD FRIES
77 SOUTH OGDEN STREET #101
DENVER, COLORADO 80209
720.363.9498

CIVIL ENGINEER:

CORE CONSULTANTS INC.
1950 WEST LITTLETON BLVD, SUITE 109
LITTLETON, COLORADO 80120
303.703.4444
CONTACT: DAVID FORBES

TRAFFIC ENGINEERING:

KIMLEY HORN AND ASSOCIATES, INC
990 SOUTH BROADWAY, SUITE 200
DENVER, COLORADO 80203
303.228.2304
CONTACT: CURTIS ROWE

ANGELO'S VINEYARDS PLANNED DEVELOPMENT

SHEET NAME:

COVER SHEET

SHEET NUMBER:

1 OF 7

PROJECT #:

2015.003

DATE:

REV #03 20 OCT 2015

REV #02 08 OCT 2015

REV #01 26 AUG 2015

SUBMITTED 25 JUN 2015

© 2015 JEF DESIGN

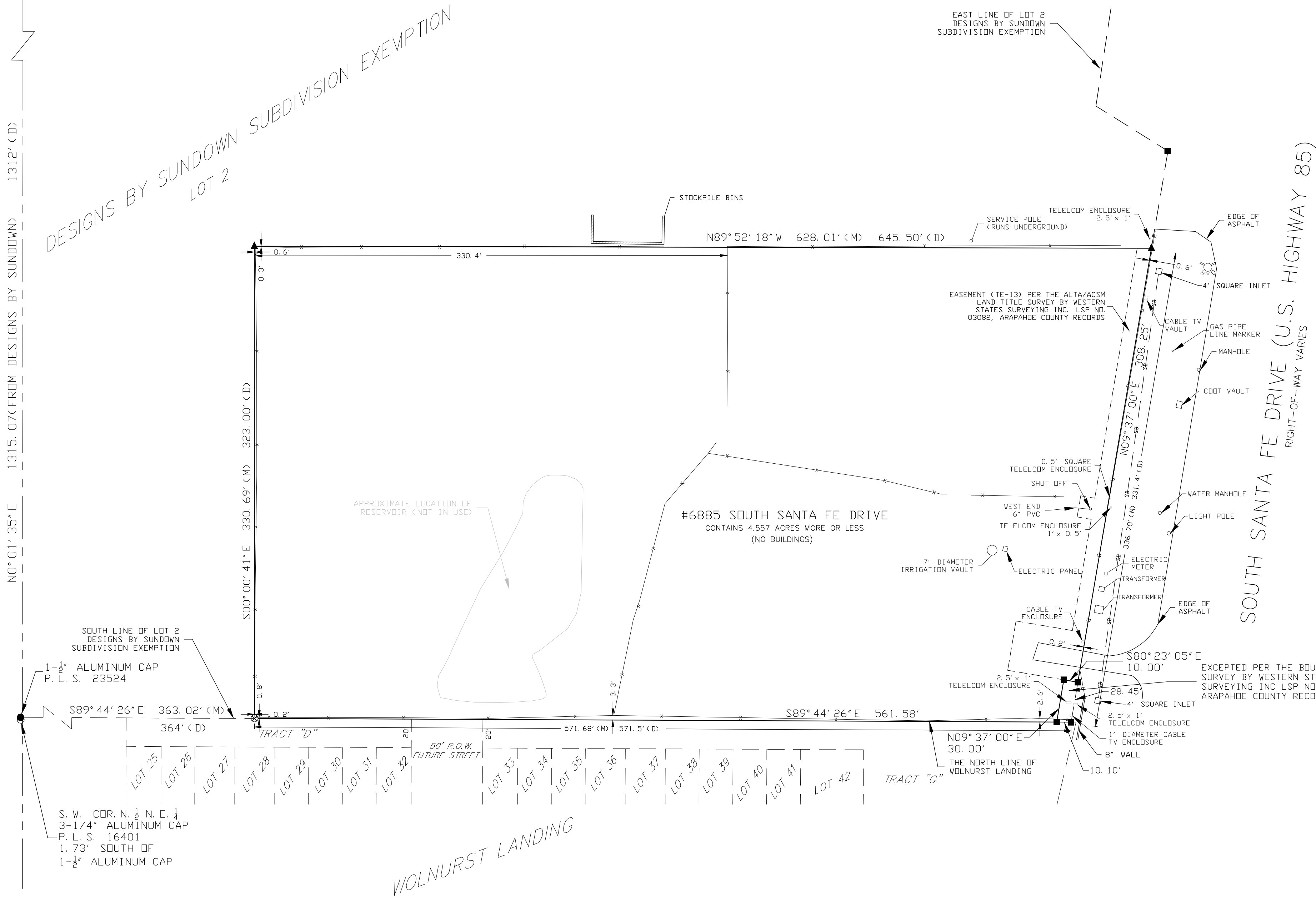


ANGELO'S VINEYARDS GENERAL PLANNED DEVELOPMENT PLAN AND REZONING

LOCATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH PM.
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO

CASE NO. PDP 15-0003

NORTH 1/4 CORNER
SEC. 29, T. 5. S., R. 69W.



LEGEND

- DENOTES: 1-1/2" ALUMINUM CAP, P. L. S. 23524
- DENOTES: 3-1/2" ALUMINUM CAP, CDOT MONUMENT P. L. S. 27259
- ▲ DENOTES: EXISTING #5 REBAR & CAP - P. L. S. 38058
- ⊗ DENOTES: EXISTING #5 REBAR & CAP - P. L. S. 5447
- DENOTES: 3-1/2" ALUMINUM CAP, P. L. S. 16401
- DENOTES: FENCE
- DENOTES: HIGHWAY FENCE
- DENOTES: STORM DRAIN RCP
- ⊗ DENOTES: FIRE HYDRANT

LEGAL DESCRIPTION: (FROM TRUSTEE'S DEED, BOOK 4545, PAGE 209 ARAPAHOE COUNTY RECORDS):

A TRACT OF LAND IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 29, TOWNSHIP 5 SOUTH, RANGE 68 WEST, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH IS 1312 FEET SOUTH AND 384 FEET EAST OF THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER; THENCE EAST 571.5 FEET TO THE NORTHWESTERLY LINE OF THE COUNTY ROAD; THENCE NORTHEASTERLY ALONG THE NORTHWESTERLY LINE OF SAID COUNTY ROAD 331.4 FEET; THENCE WEST 645.5 FEET; THENCE SOUTH 323 FEET TO THE TRUE POINT OF BEGINNING, KNOWN AS 6885 SOUTH SANTA FE DRIVE, LITTLETON, COLORADO.

EXCEPT PARCEL CONVEYED TO COLORADO DEPARTMENT OF TRANSPORTATION AT THE SOUTHEAST CORNER OF THE PARCEL.

BASIS FOR BEARINGS:

THE WEST RIGHT-OF-WAY LINE OF SOUTH SANTA FE DRIVE BEARS S09°37'00"W PER THE BOUNDARY ADJUSTMENT PLAT, RECEPTION NO. D3110613, ARAPAHOE COUNTY RECORDS. ALL MONUMENTS EXIST AS SHOWN HEREON.

NOTICE:

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, IN NO EVENT MAY ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

THE LINEAL UNITS USED AND SHOWN HEREON IS U S SURVEY FOOT THE FENCE DIMENSION(S) INDICATE ON WHICH SIDE OF THE LINE THE FENCE IS ON.

THERE MAY BE BURIED UTILITIES ON OR ADJACENT TO THIS SITE NOT SHOWN DUE TO INSUFFICIENT SURFACE EVIDENCE. NO STATEMENT IS MADE CONCERNING SUBSURFACE CONDITIONS, OR THE EXISTENCE OF OVERHEAD OR UNDERGROUND CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT OF LAND.

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY R.W. BAYER & ASSOCIATES, INC. OF THE PROPERTY SHOWN AND DESCRIBED HEREON TO DETERMINE OWNERSHIP OF THIS TRACT OF LAND, COMPATIBILITY OF THIS DESCRIPTION WITH THOSE OF ADJACENT TRACTS OF LAND OR RIGHTS-OF-WAY, EASEMENTS OR ENCUMBRANCES OF RECORD AFFECTING THIS TRACT OF LAND, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND USE REGULATIONS.

EXCEPT AS SHOWN OR SPECIFICALLY STATED, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS, ANY OTHER FACTS.

CERTIFICATE OF SURVEY:

I, RAYMOND W. BAYER, A PROFESSIONAL LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY TO GRUBER COMMERCIAL REAL ESTATE SERVICES, INC., THAT A SURVEY OF THE ABOVE DESCRIBED PREMISES WAS CONDUCTED BY ME OR UNDER MY DIRECT SUPERVISION ON MAY 20, 2015; THAT THE ATTACHED IMPROVEMENT SURVEY PLAT CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES, FENCES, DITCHES, RESERVOIRS, AND OTHER IMPROVEMENTS SITUATED ON SAID PREMISES; THAT, EXCEPT AS SHOWN, THERE ARE NO EASEMENTS OR RIGHTS-OF-WAY VISIBLE, OR OTHERWISE KNOWN TO ME ON, ACROSS OR AFFECTING SAID PREMISES; AND, EXCEPT AS SHOWN, THAT THERE ARE NO PARTY WALLS, NO ENCROACHMENTS ON ADJOINING PREMISES, STREETS OR ALLEYS BY ANY OF SAID BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.

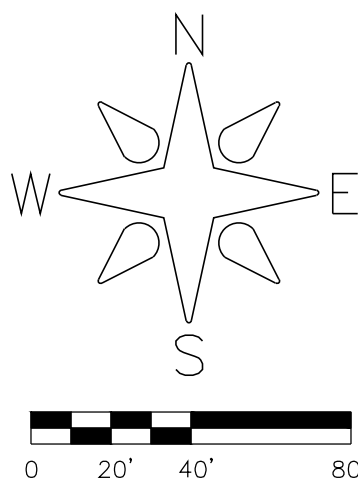
RAYMOND W. BAYER REG. P.L.S. NO. 6973,
WITHIN THE STATE OF COLORADO

DATE: _____

COUNTY SURVEYOR'S CERTIFICATE:

DEPOSITED THIS _____ DAY OF _____, 20____,
AT _____ M., IN BOOK _____ OF THE COUNTY SURVEYOR'S LAND SURVEY PLATS / RIGHTS OF WAY
SURVEYS AT PAGE _____, RECEPTION NO. _____. THIS LAND SURVEY PLAT COMPLIES WITH SECTION
38-51-106, COLORADO REVISED STATUTES.

COUNTY SURVEYOR _____



SCALE: 1" = 40'

R.W. BAYER & ASSOCIATES, INC.
2090 EAST 104TH AVENUE, SUITE 200
THORNTON, COLORADO 80233-4316
(303) 452-4433 FAX: (303) 452-4515

CAD FILE: G15098/G15098.DWG REVISIONS:

IMPROVEMENT SURVEY PLAT

A PORTION OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO.

SCALE: 1" = 40'	DATE: MAY 20, 2015	DRW BY: J. E. B.	CKD BY: R. B.	PROJ. NO: 2015-098
BOOK: 673	PAGE: 62	FILE NO: 29-5S.68-1L	SHEET: 1 OF 1	

ANGELO'S VINEYARDS
PLANNED DEVELOPMENT

SHEET NAME: EXISTING CONDITIONS / SURVEY

SHEET NUMBER:
2 OF 7

PROJECT #:
2015.003
DATE: REV #03 20 OCT 2015
REV #02 08 OCT 2015
REV #01 26 AUG 2015
SUBMITTED 25 JUN 2015

© 2015 JEF DESIGN



ANGELO'S VINEYARDS GENERAL PLANNED DEVELOPMENT PLAN AND REZONING

LOCATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH PM.
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO

CASE NO. PDP 15-0003

PURPOSE:

THESE GUIDELINES PROVIDE A FRAMEWORK FOR THE DEVELOPMENT OF A NEW/ PLANNED DEVELOPMENT (PD-C) FOR THE DEVELOPMENT OF NEW COMMERCIAL STRUCTURES LOCATED WEST OF SANTA FE DRIVE SOUTH OF A NEW COMMERCIAL / INDUSTRIAL DEVELOPMENT ADJACENT BREWERY LANE IN LITTLETON, COLORADO. THESE GUIDELINES ADDRESS ARCHITECTURE, SCALE AND OVERALL CONTEXT OF THE DEVELOPMENT. THIS PLANNED DEVELOPMENT IS BEING UTILIZED AS A METHOD TO RESTRICT UNWANTED USES ALLOWED IN THE PD-C (B-1 AND B-2 ZONE DISTRICTS) BUT ARE NOT APPROPRIATE FOR THIS PROPERTY.

UPON ADOPTION OF THESE DEVELOPMENT STANDARDS, THE LOCATION AND BULK OF ALL BUILDINGS AND OTHER STRUCTURES BUILT AFTER THE EFFECTIVE DATE OF THESE DEVELOPMENT STANDARDS SHALL BE IN CONFORMANCE WITH:

- a. ALL APPLICABLE STANDARDS CONTAINED WITH THE DEVELOPMENT PLAN AND STANDARDS; AND
- b. ANY OTHER APPLICABLE STANDARD OF THE CITY OF LITTLETON MUNICIPAL CODE, AS AMENDED AND WHERE SUCH STANDARDS ARE NOT SPECIFICALLY ADDRESSED IN, OR ARE IN CONFLICT WITH THESE STANDARDS.

A. USE STANDARDS

- 1. PERMITTED LAND USES, ANY USES ALLOWED IN THE B-1 OR B-2 ZONE DISTRICTS AND AS DESIGNATED BELOW:
 - a. RESTAURANT / BAR
 - b. BREWERY / WINERY / DISTILLERY (PER CITY CODE SUPPLEMENTARY STANDARDS)
 - c. OFFICE, CLERICAL AND PROFESSIONAL SERVICES
 - d. RETAIL SALES AND SERVICES
 - e. RESEARCH AND DEVELOPMENT
 - f. RESIDENTIAL (DWELLING UNIT FOR CARETAKER)
- 2. ACCESSORY USES
 - a. RAISING OF CROPS (FOR SALE, RESALE OR CONSUMPTION BY OCCUPANTS ON PREMISES)
- 3. TEMPORARY USES
 - a. AS DETERMINED PER CITY CODE
- 4. PROHIBITED USES
 - a. SERVICES AND ENTERPRISES RELATED TO ANIMALS
 - b. RESTAURANT / FOOD SERVICE CONTAINING DRIVE-THRU SERVICES
 - c. PAWNSHOPS
 - d. OPEN AIR FLEA MARKETS
 - e. AUTOMOBILE SALES
 - f. ADULT ENTERTAINMENT
 - g. TATTOO PARLORS
 - h. CORRECTIONAL FACILITIES
 - i. COMMERCIAL CLEANING / LAUNDRY FACILITIES
 - j. OFF-TRACK BETTING
 - k. MEDICAL MARIJUANA GROW FACILITIES AND DISPENSARIES
- 5. UNDETERMINED USES:
 - a. USES FOR WHICH THE ZONING OFFICIAL IS NOT ABLE TO MAKE A FINAL DETERMINATION, MAY BE PERMITTED UPON FINDING BY THE COMMUNITY DEVELOPMENT DEPARTMENT THAT THE USE IS SIMILAR IN CHARACTER AND IMPACT TO THOSE USES SPECIFICALLY PERMITTED WITH THE PROPERTY, WHEN CONSIDERATION IS GIVEN TO THE GOALS AND POLICIES EXPRESSED IN THE COMPREHENSIVE PLAN.

B. DEVELOPMENT STANDARDS

- 1. BUILDING HEIGHT
 - a. MAXIMUM BUILDING HEIGHT: 40 FEET
 - i. WITHIN 150 FEET OF RESIDENTIAL USE: 30 FEET
 - b. MAXIMUM HEIGHT FOR TOWERS/SPIRES: 40 FEET
- 2. SETBACKS
 - a. FRONT SETBACK
 - i. ALONG SANTA FE DRIVE: 100 FEET
 - ii. AT INTERIOR LOT: 25 FEET
 - b. SIDE SETBACK
 - i. AT INTERIOR LOT: 15 FEET
 - ii. ADJACENT RESIDENTIAL USE: 50 FEET
 - c. REAR SETBACK:
 - i. AT INTERIOR LOT: 15 FEET
 - ii. ADJACENT RESIDENTIAL USE: 50 FEET
 - d. ADDITIONAL SETBACK STANDARDS
 - i. USES PERMITTED WITHIN BUILDING SETBACKS INCLUDE, WITHOUT LIMITATION, FENCING, WALLS, SIGNAGE, RETAINING WALLS, SIDEWALKS, HARDSCAPE, LANDSCAPE, PARKING, DRIVE AISLES, LIGHTING, DETENTION / RETENTION AREAS, SLOPES, BERMS, ENTRY MONUMENTS, ENTRY STEPS, AND PATIOS.
 - ii. ARCHITECTURAL FEATURES, INCLUDING BUT NOT LIMITED TO, EAVES, BAY WINDOWS COUNTERFORTS, AWNINGS, BRACES, OVERHANGS, CANTILEVERS, PLANTER BOXES, DECKS AND PATIOS MAY ENCR OACH INTO BUILDING SETBACKS SEPARATIONS A MAXIMUM OF 48 INCHES.
 - iii. ALL BUILDING SETBACKS / SEPARATION SHALL BE MEASURED FROM THE EXTERIOR EDGE OF FOUNDATION WALL.
 - e. MINIMUM BUILDING SEPARATION
 - i. 30 FEET



B. DEVELOPMENT STANDARDS, CONTINUED

- 3. LOT AREA
 - a. MINIMUM LOT AREA: .5 ACRES
 - b. MAXIMUM FLOOR TO LOT AREA RATIO (FAR): 1:1
 - c. OPEN SPACE REQUIREMENT: 20%
- 4. PARKING STANDARDS
 - a. MINIMUM OFF-STREET PARKING AND LOADING REQUIREMENTS SHALL BE PROVIDED IN CONFORMANCE WITH THE CITY OF LITTLETON MUNICIPAL CODE SECTION 10-4-9.
 - b. WHEEL GUARDS SHALL NOT BE REQUIRED.
 - c. MAXIMUM COMPACT SPACES PERMITTED: 25%
 - d. PARKING SPACE SIZE STANDARDS:
 - (1) STANDARD:
 - (2) COMPACT:
 - (3) HANDICAP:
 - e. MINIMUM DRIVE WIDTH: 25 FEET
 - f. PARKING LOT ISLANDS SHALL BE DELINEATED BY A CLEAR PHYSICAL BARRIER SUCH AS A CONCRETE CURB TO PROTECT PLANT MATERIAL.
 - g. JOINT OR MULTIPLE USE OF PARKING SPACES MAY BE PERMITTED, PROVIDED A SCHEDULE OF OPERATION, INCLUDING PROPOSED METHOD OF REGULATION, IS DEFINED ON THE FINAL PD PLAN APPROVED BY THE CITY. IN ADDITION, THE TOTAL NUMBER OF REQUIRED SPACES MAY BE REDUCED BY THE CITY AS A PART OF ITS APPROVAL OF THE FINAL PD PLAN.
- 5. SIGNAGE STANDARDS
 - a. BUILDING SIGNAGE
 - i. 1 SQUARE FOOT OF SIGNAGE ALLOWED PER 1.5 LINEAR FOOT OF STREET FRONTAGE ALONG SANTA FE DRIVE
 - ii. 1/2 SQUARE FOOT OF SIGNAGE ALLOWED PER LINEAR FOOT OF BUILDING LENGTH
 - iii. SIGN MAXIMUM HEIGHT: 5 FEET
 - iv. MAXIMUM HEIGHT OF SIGN TEXT: 2 FEET
 - b. MONUMENT SIGNS
 - i. FREE STANDING PEDESTAL GROUND (MONUMENT) SIGNS SHOULD BE USED INSTEAD OF FREE STANDING SIGNS ON POLES
 - ii. WHENEVER POSSIBLE, GROUND SIGNS SHOULD BE COMBINED WITH LANDSCAPING IN ORDER TO PROVIDE ATTRACTIVE COMPOSITIONS.
 - iii. GROUND SIGNS SHALL NOT BE HIGHER THAN 10 FEET WITHIN THE DEVELOPMENT WITH A MAXIMUM SIGNAGE AREA OF 50 SQUARE FEET PER SIDE.
 - c. JOINT IDENTIFICATION SIGNS
 - i. JOINT IDENTIFICATION SIGNS ARE PERMITTED FOR TWO (2) OR MORE USES BY RIGHT ON THE SAME LOT AS THE SIGN, EXCLUDING PARKING.
 - ii. SIZE AND DESIGN OF JOINT IDENTIFICATION SIGNS SHALL BE REGULATED AS PER THE CITY OF LITTLETON MUNICIPAL CODE.
 - d. ILLUMINATION
 - i. IF SIGNS ARE EXTERNALLY ILLUMINATED, THE LIGHTING SHOULD BE SHIELDED TO AVOID GLARE AND OVER-SPILL.
 - ii. TEXT OR GRAPHICS SHALL BE THE TRANSPARENT ELEMENTS FOR INTERNALLY ILLUMINATED SIGNAGE.
- 6. LANDSCAPE STANDARDS
 - a. SITE LANDSCAPING SHALL MEET THE REQUIREMENTS OF THE CITY OF LITTLETON MUNICIPAL CODE, CHAPTER 5 AND LANDSCAPE DESIGN CRITERIA MANUAL.
 - b. AN APPROVED LANDSCAPE PLAN DESIGNED BY A LANDSCAPE ARCHITECT LICENSED IN THE STATE OF COLORADO SHALL BE REQUIRED AS A PART OF THE FINAL SITE DEVELOPMENT PLAN.
 - c. NO ARTIFICIAL TREES, SHRUBS OR PLANTS SHALL BE USED.
 - d. RETAINING WALLS
 - i. ANY RETAINING WALLS MAY BE CONSTRUCTED OF NATURAL STONE, INTERLOCKING UNITS, TEXTURED CMU OR CAST IN PLACE CONCRETE (WHICH SHALL BE TEXTURED) WITH A COLOR COMPLIMENTARY TO THE BUILDING ARCHITECTURE.
 - ii. RETAINING WALLS MAY BE FREE STANDING OR INCORPORATED INTO ANY BUILDING.
- 7. FENCING STANDARDS
 - a. AT SANTA FE FRONTAGE
 - i. MAXIMUM HEIGHT: FOUR (4) FEET
 - ii. CONSTRUCTION: AT LEAST 50 PERCENT OF THE SURFACE SHALL BE OPEN
 - iii. MATERIAL: WOOD, IRON AND STONE OR ANY COMBINATION THEREOF.
 - b. SIDE / REAR YARDS
 - i. MAXIMUM HEIGHT: SIX (6) FEET
 - ii. CONSTRUCTION: MAY BE SOLID, OPEN OR COMBINATION THEREOF.
 - iii. MATERIAL: WOOD, IRON AND STONE OR ANY COMBINATION THEREOF.
- 8. LIGHTING STANDARDS
 - a. ALL EXTERIOR LIGHTING SHALL BE IN FULL COMPLIANCE WITH CITY OF LITTLETON STANDARDS AND GUIDELINES.
 - b. LIGHTING SHALL BE DIRECTED DOWNWARD AND AWAY FROM WOLHURST LANDING, SURROUNDING RESIDENTIAL AREAS AND SOUTH PLATTE PARK.
 - c. BUILDING MOUNTED SECURITY LIGHTING FIXTURES SHALL NOT PROJECT ABOVE THE BUILDING'S ROOF LINE AND ARE TO BE SHIELDED.
 - d. ACCENT ILLUMINATION MAY BE PROVIDED AT SUCH KEY LOCATIONS SUCH AS PROJECT ENTRIES TO AUGMENT QUALITY LANDSCAPED ENTRIES, ILLUMINATE LANDMARKS, ACTIVITY AREAS AND UNIQUE SITE FEATURES.
- 9. VEHICULAR SITE ACCESS FROM PUBLIC STREET
 - a. ONE VEHICULAR SITE ACCESS POINT AND ONE EMERGENCY VEHICLE ACCESS SHALL BE PERMITTED, BOTH FROM SANTA FE DRIVE.
- 10. PEDESTRIAN CIRCULATION
 - a. THE OBJECTIVE OF THE PEDESTRIAN CIRCULATION SYSTEM IS TO CREATE A PEDESTRIAN ENVIRONMENT AND PROVIDE LOGICAL CONNECTIVITY BETWEEN ON-SITE BUILDINGS, AMENITIES AND ADJACENT BUSINESSES AND RESIDENTIAL USERS.
 - b. THE ON-SITE CIRCULATION SYSTEM SHALL CONNECT TO THE EXISTING PUBLIC SIDEWALKS AND NEARBY BIKE TRAIL.

C. ARCHITECTURAL STANDARDS

- 1. GOALS
 - a. BUILDING ARCHITECTURE ON THE SITE SHALL BE IN CONFORMANCE WITH THE SOUTH PLATTE RIVER CORRIDOR DESIGN STANDARDS.
 - b. ARCHITECTURAL DESIGN SHALL REFLECT THE CHARACTER OF AGRICULTURAL BUILDING FORMS AND RURAL VERNACULAR.
- 2. BUILDING FORM
 - a. BUILDING MASSING
 - i. LARGE BUILDING FORMS SHALL BE BROKEN DOWN WITH ADDITIVE MASSING AND/OR STEPPED ROOFS.
 - b. FACADES
 - i. EXTERIOR BUILDING MATERIALS SHALL EXHIBIT A VARIETY OF COMPLIMENTARY COLORS AND TEXTURES ON ALL FOUR SIDES OF THE STRUCTURE.
 - c. ROOFS
 - i. ROOFS SHALL BE DESIGNED AS A 'FIFTH FACADE' IN AN EFFORT TO KEEP ROOF PLANES INTERESTING.
 - ii. USE OF STEPPED ROOF FORMS, CLERESTORIES, AND SMALLER PENTHOUSES TO BREAK UP LARGE ROOF EXPANSES IS ENCOURAGED.
 - iii. ROOF PENETRATIONS SHALL BE MINIMIZED AND CLUSTERED WHERE PRACTICAL.
 - iv. ACCEPTABLE ROOF MATERIALS INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE TILES, ASPHALT SHINGLES, SLATE TILES, WOOD SHAKES, STANDING SEAM METAL AND COMPOSITIONS SHINGLES.
 - v. PHOTOVOLTAIC PANELS ARE ACCEPTABLE AS A PART OF THE ROOF SYSTEM.
 - d. BUILDING SURFACE MATERIALS
 - i. BUILDING SURFACE MATERIALS MAY INCLUDE, BUT ARE NOT LIMITED TO, BRICK, BRICK VENEER, SYNTHETIC STONE, NATURAL STONE, STUCCO, FIBER CEMENT SIDING, BOARD AND BATTEN SIDING, WOOD SIDING, METAL PANEL SIDING, AND ORNAMENTAL WOOD, METAL OR GLASS.
 - e. BUILDING COLORS
 - i. COLORS THAT COMPLIMENT AND ENHANCE THE SURROUNDING AREA SHALL BE USED.
 - ii. NO BRIGHT COLORS THAT ARE NOT CONTEXTUALLY SUITED FOR THE DEVELOPMENT SHALL BE USED.



ARCHITECTURE FORM EXAMPLE IMAGES



ANGELO'S VINEYARDS
PLANNED DEVELOPMENT

SHEET NAME: DEVELOPMENT STANDARDS

SHEET NUMBER:
3 OF 7

PROJECT #: 2015.003
DATE: REV #03 20 OCT 2015
REV #02 08 OCT 2015
REV #01 26 AUG 2015
SUBMITTED 25 JUN 2015

© 2015 JEF DESIGN



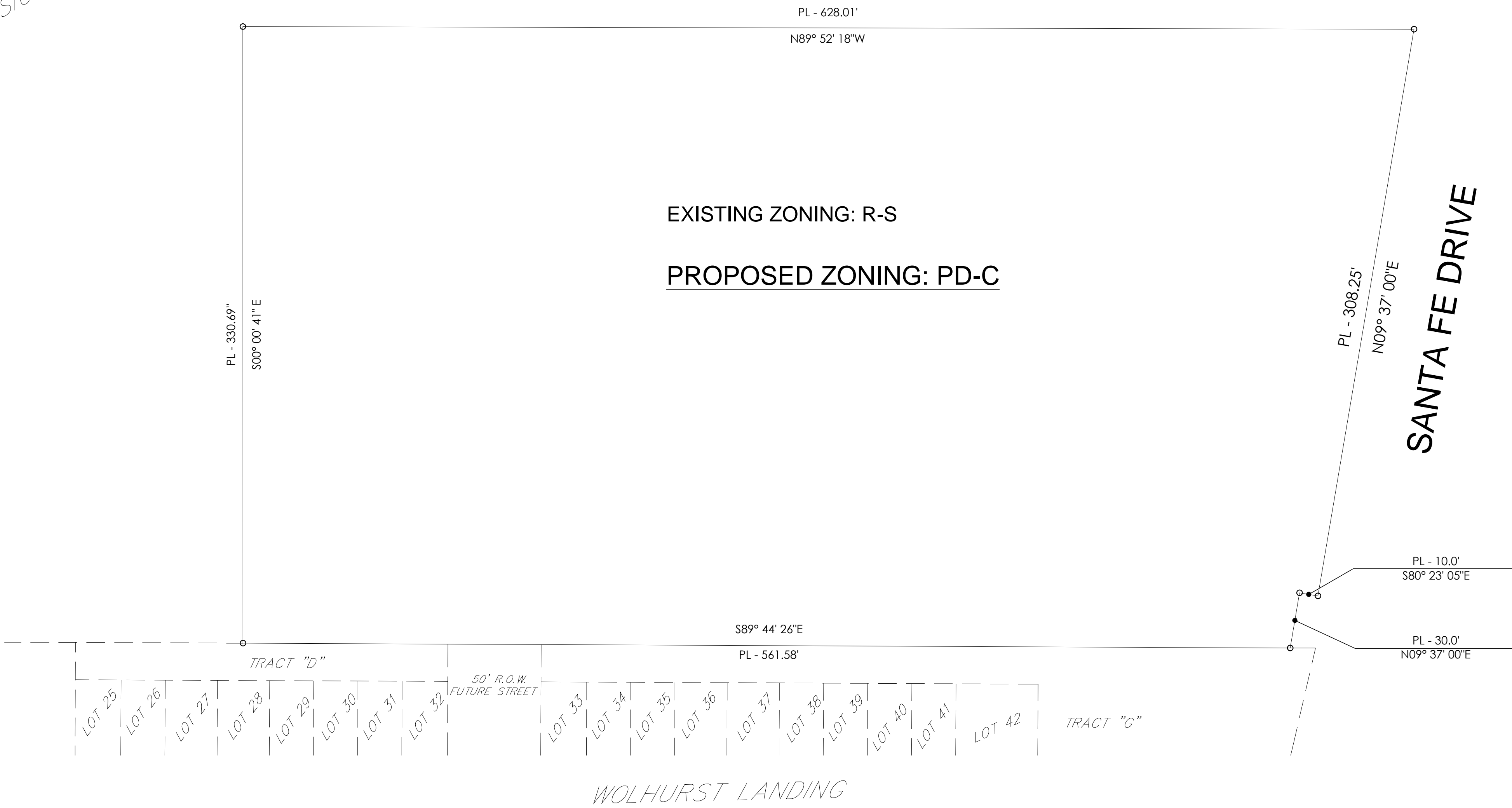
ANGELO'S VINEYARDS GENERAL PLANNED DEVELOPMENT PLAN AND REZONING

LOCATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH PM.
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO

CASE NO. PDP 15-0003

REZONING MAP

DESIGNS BY SUNDOWN SUBDIVISION EXEMPTION
LOT 2



LEGAL DESCRIPTION:
A PARCEL OF LAND BEING A PART OF THE NW 1/4 OF THE NE 1/4 OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 68, WEST OF THE 6TH P.M., COUNTY OF ARAPAHOE, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LEGAL DESCRIPTION: (FROM TRUSTEE'S DEED, BOOK 4545, PAGE 209 ARAPAHOE COUNTY RECORDS):

A TRACT OF LAND IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 29, TOWNSHIP 5 SOUTH, RANGE 68 WEST, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH IS 1312 FEET SOUTH AND 364 FEET EAST OF THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER; THENCE EAST 571.5 FEET TO THE NORTHWESTERLY LINE OF THE COUNTY ROAD; THENCE NORTHEASTERLY ALONG THE NORTHWESTERLY LINE OF SAID COUNTY ROAD 331.4 FEET; THENCE WEST 645.5 FEET; THENCE SOUTH 323 FEET TO THE TRUE POINT OF BEGINNING, KNOWN AS 6885 SOUTH SANTA FE DRIVE, LITTLETON, COLORADO.

EXCEPT PARCEL CONVEYED TO COLORADO DEPARTMENT OF TRANSPORTATION AT THE SOUTHEAST CORNER OF THE PARCEL.

BASIS FOR BEARINGS:

THE WEST RIGHT-OF-WAY LINE OF SOUTH SANTA FE DRIVE BEARS S09°37'00"W PER THE BOUNDARY ADJUSTMENT PLAT, RECEPTION NO. D3110613, ARAPAHOE COUNTY RECORDS. ALL MONUMENTS EXIST AS SHOWN HEREON.

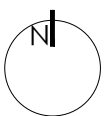
ANGELO'S VINEYARDS
PLANNED DEVELOPMENT

SHEET NAME: REZONING MAP

SHEET NUMBER:
4 OF 7

PROJECT #: 2015.003
DATE: REV #03 20 OCT 2015
REV #02 08 OCT 2015
REV #01 26 AUG 2015
SUBMITTED 25 JUN 2015

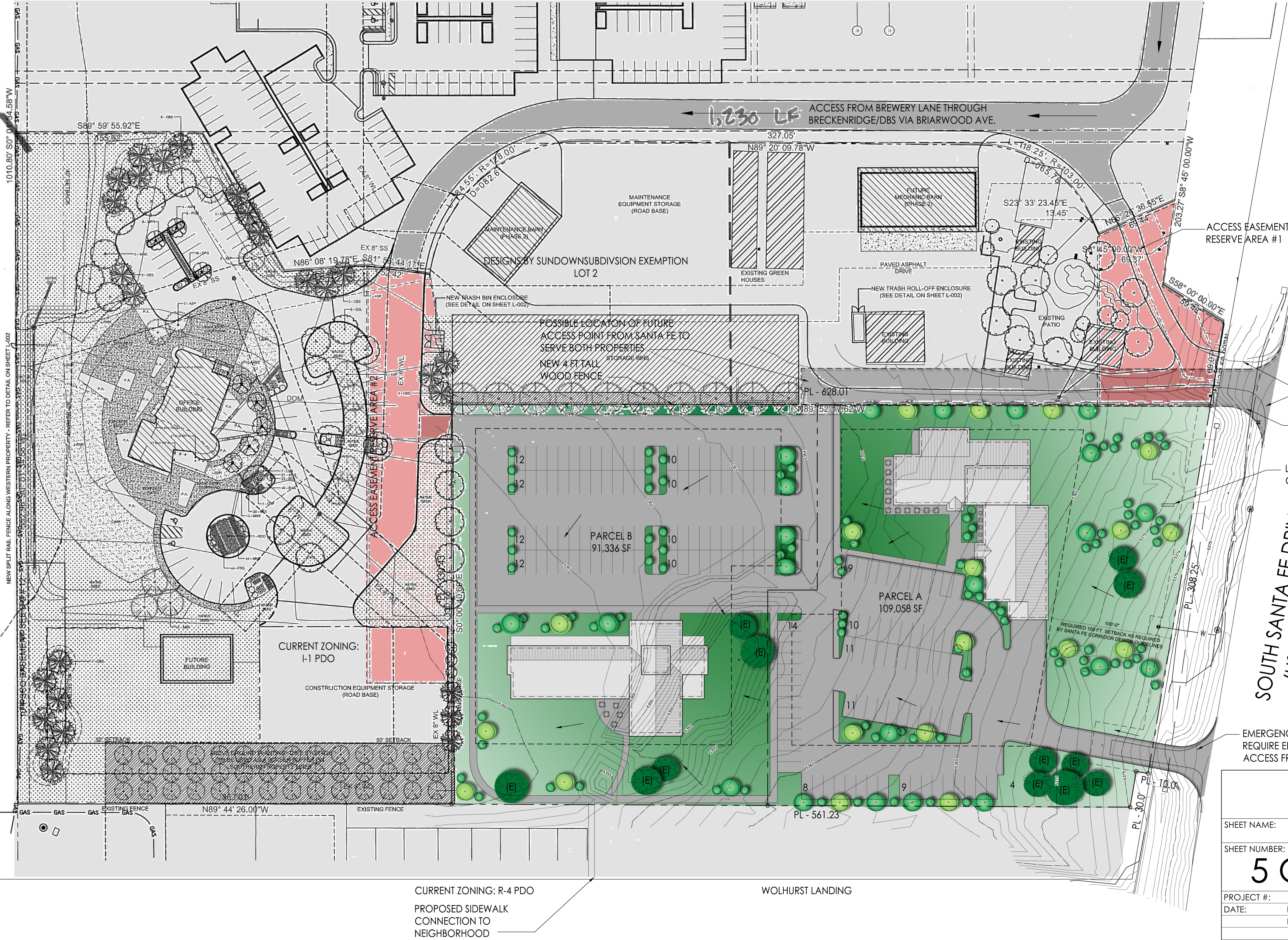
© 2015 JEF DESIGN



ANGELO'S VINEYARDS GENERAL PLANNED DEVELOPMENT PLAN AND REZONING

LOCATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH PM.
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO

CASE NO. PDP 15-0003



PLAN NOTES

1. ADDITIONAL VEHICLE ACCESS POINT APPROVED THROUGH SITE DEVELOPMENT.
2. EXISTING TREES SHALL BE PRESERVED COMPONENT OF SITE LAYOUT IF THEY IMPACT THE BEST LAND USE DESIGN PRIOR TO CONSTRUCTION A LAND IDENTIFYING TREES TO BE PRESERVED PROTECTED SHALL BE SUBMITTED.
- 3.

LEGEND

- (E) EXISTING TREE TO REMAIN
- NEW TREE
- FENCE
- EASEMENT LINE

- EXISTING CURB CUT ACCESS TO SANTA FE DRIVE
- POSSIBLE LOCATION OF FUTURE ACCESS POINT FROM SANTA FE TO SERVE BOTH PROPERTIES
- LOCATION OF PROPOSED GROUND MONUMENT SIGN

SOUTH SANTA FE DRIVE
(US HIGHWAY 85)
RIGHT-OF-WAY VARIES

EMERGENCY VEHICLE ACCESS ONLY, ACCESS MAY REQUIRE ELIMINATION BY CITY OF LITTLETON IF OTHER ACCESS FROM SANTA FE IS ESTABLISHED

ANGELO'S VINEYARDS
PLANNED DEVELOPMENT

SHEET NAME: ILLUSTRATIVE SITE PLAN

SHEET NUMBER:
5 OF 7

PROJECT #: 2015.003
DATE: REV #03 20 OCT 2015
REV #02 08 OCT 2015
REV #01 26 AUG 2015
SUBMITTED 25 JUN 2015

© 2015 JEF DESIGN



ANGELO'S TAVERNA & WINERY - CONCEPTUAL SITE PLAN

0 40

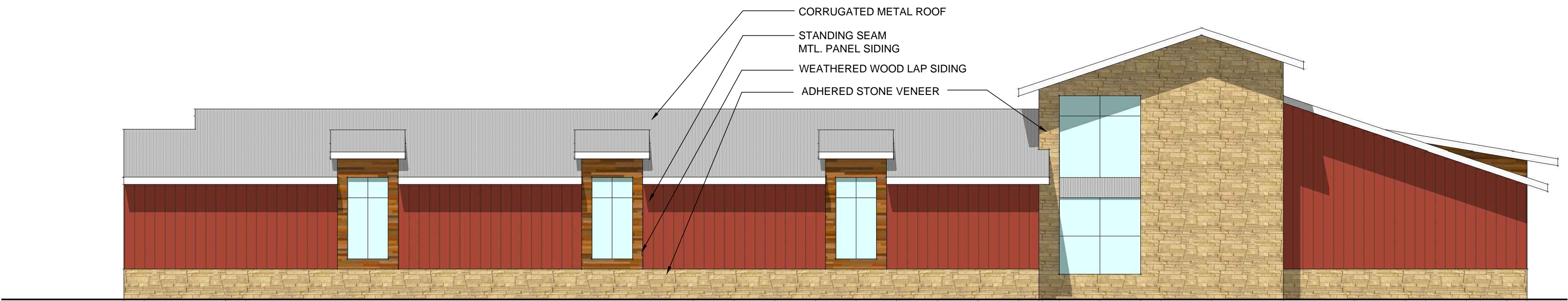
ANGELO'S VINEYARDS GENERAL PLANNED DEVELOPMENT PLAN AND REZONING

LOCATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH PM.
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO

CASE NO. PDP 15-0003



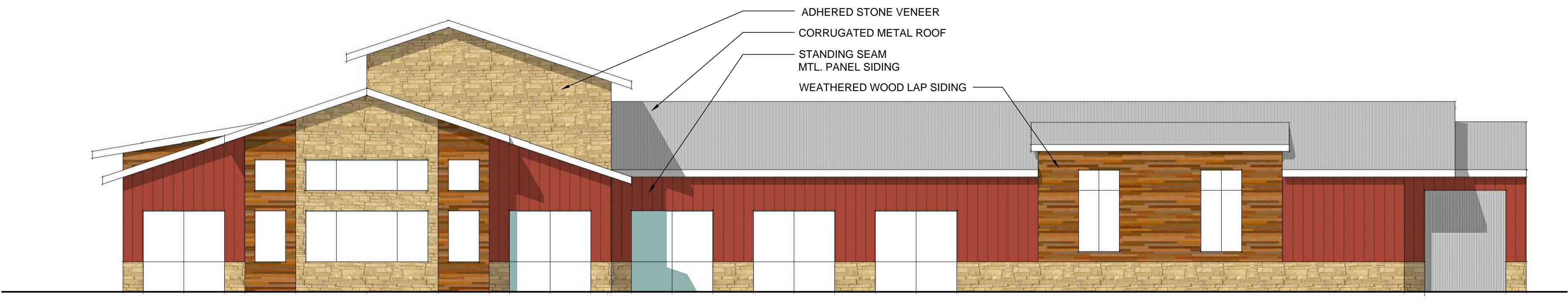
ANGELO'S TAVERNA & WINERY - CONCEPTUAL NORTH ELEVATION



ANGELO'S TAVERNA & WINERY - CONCEPTUAL EAST ELEVATION



ANGELO'S TAVERNA & WINERY - CONCEPTUAL SOUTH ELEVATION



ANGELO'S TAVERNA & WINERY - CONCEPTUAL WEST ELEVATION

ANGELO'S VINEYARDS PLANNED DEVELOPMENT	
SHEET NAME: LOT 1 - CONCEPTUAL BLDG. ELEVATIONS	
SHEET NUMBER: 6 OF 7	
PROJECT #:	2015.003
DATE:	REV #03 20 OCT 2015
	REV #02 08 OCT 2015
	REV #01 26 AUG 2015
	SUBMITTED 25 JUN 2015
© 2015 JEF DESIGN	



ANGELO'S VINEYARDS GENERAL PLANNED DEVELOPMENT PLAN AND REZONING

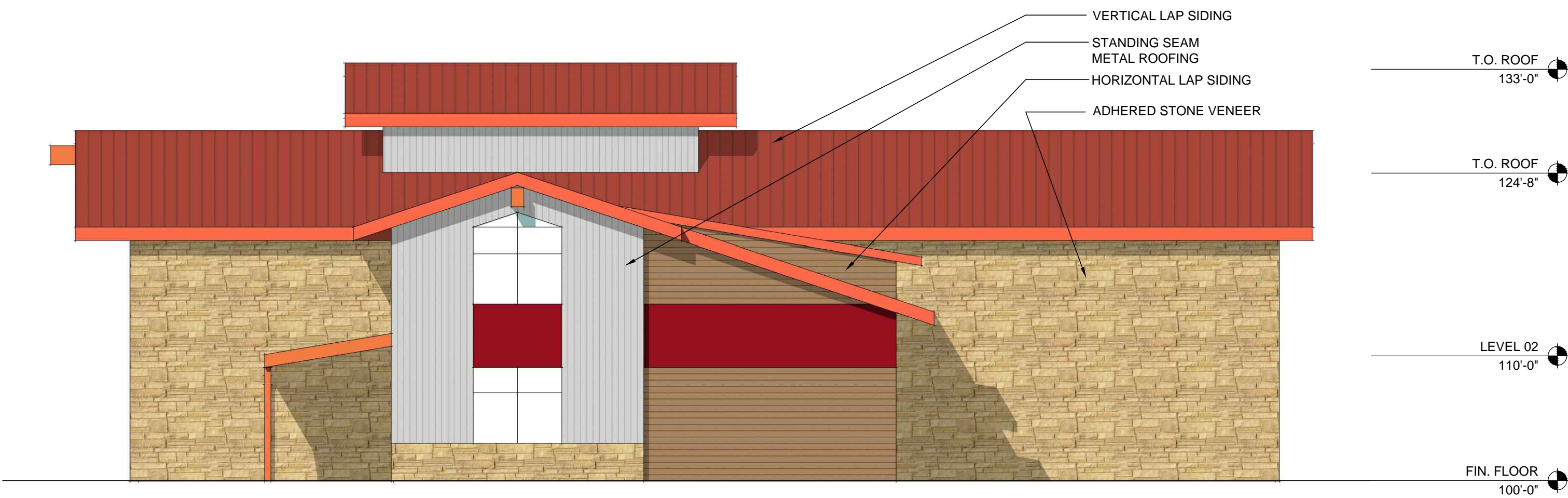
LOCATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH PM.
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO

CASE NO. PDP 15-0003



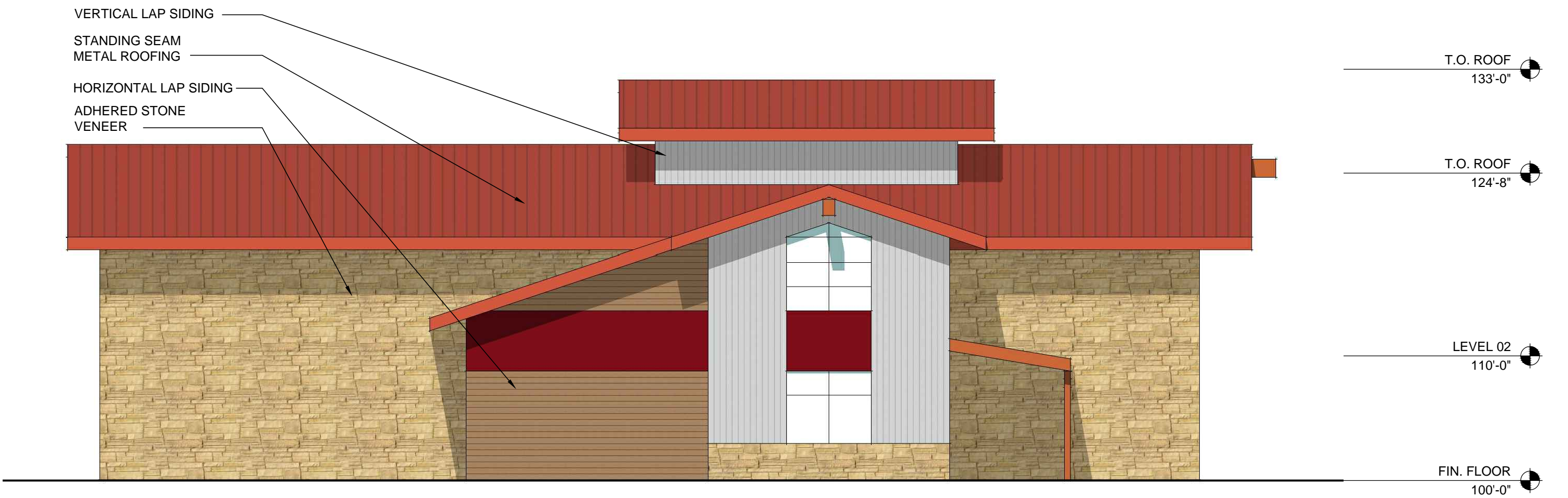
LOT 2 - CONCEPTUAL OFFICE BUILDING - NORTH ELEVATION

0 8



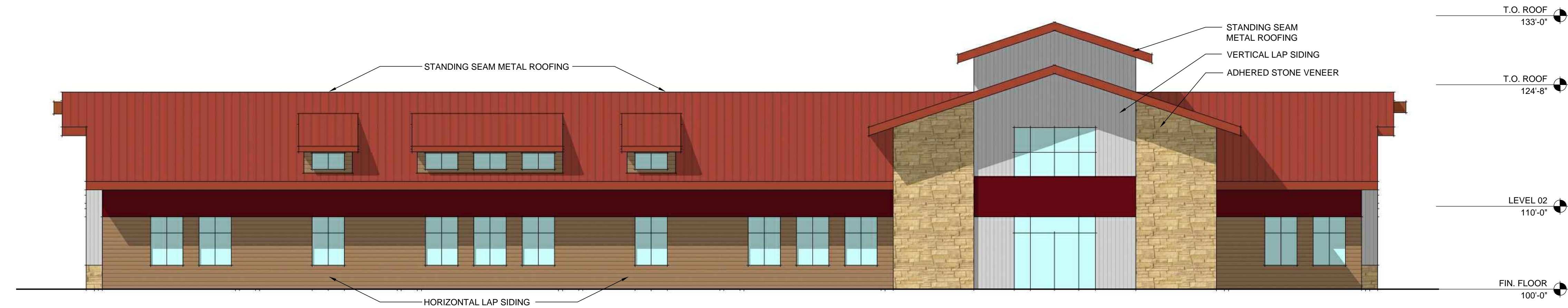
LOT 2 - CONCEPTUAL OFFICE BUILDING - WEST ELEVATION

0 8



LOT 2 - CONCEPTUAL OFFICE BUILDING - EAST ELEVATION

0 8



LOT 2 - CONCEPTUAL OFFICE BUILDING SOUTH ELEVATION

0 8

ANGELO'S VINEYARDS PLANNED DEVELOPMENT	
SHEET NAME: LOT 2 - CONCEPTUAL BLDG. ELEVATIONS	
SHEET NUMBER: 7 OF 7	
PROJECT #:	2015.003
DATE:	REV #03 20 OCT 2015
	REV #02 08 OCT 2015
	REV #01 26 AUG 2015
	SUBMITTED 25 JUN 2015
© 2015 JEF DESIGN	

