

LEGAL DESCRIPTION:

LOT 5, BLOCK 1, SAFEWAY OAKBROOK SHOPPING CENTER, COUNTY OF ARAPAHOE,  
STATE OF COLORADO.

AMENDED GENERAL PLANNED DEVELOPMENT PLAN  
SAFEWAY OAKBROOK SHOPPING CENTER  
LOT 5, BLOCK 1, SAFEWAY OAKBROOK SHOPPING CENTER  
CITY OF LITTLETON, ARAPAHOE COUNTY, STATE OF COLORADO

CASE NO. APD14-0002

COVER SHEET

SHEET 1 OF 11

OWNER / APPLICANT

SULLIVAN HAYES BROKERAGE  
2000 SOUTH COLORADO BLVD.  
TOWER ONE, SUITE 8500  
DENVER, CO 80222  
303 534-0900  
CONTACT: THOMAS C. CASTLE

CIVIL ENGINEER

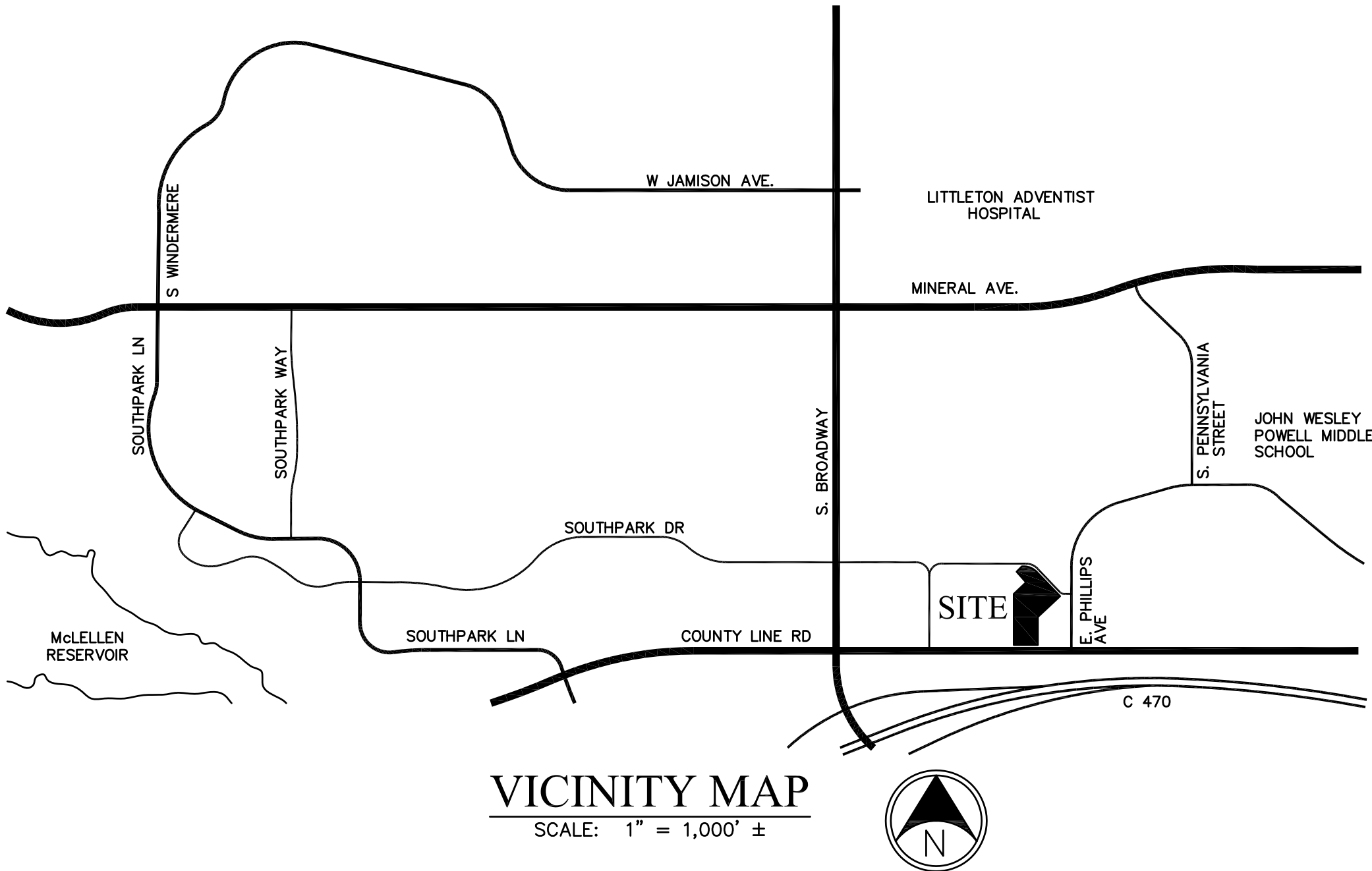
PERCEPTION DESIGN GROUP, INC.  
6732 WEST COAL MINE AVENUE, SUITE 419  
LITTLETON, CO 80123  
303 232-8088  
303 232-5255 (FAX)  
CONTACT: JERRY DAVIDSON

ARCHITECT

LEE ARCHITECTS  
2525 S. WADSWORTH BLVD., SUITE 21  
DENVER, CO 80227  
303 350-4134  
CONTACT: KEVIN KARIS

LANDSCAPE ARCHITECT

HIGHER GROUND DESIGNS, INC.  
3610 REBECCA LANE, SUITE 111  
COLORADO SPRINGS, CO 80917  
719 477-1646  
CONTACT: JOHN MACKAY



VICINITY MAP  
SCALE: 1" = 1,000' ±

SHEET INDEX

SHEET 1	COVER SHEET
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OWNERSHIP CERTIFICATION:

I, \_\_\_\_\_, OWNER, OR DESIGNATED AGENT THEREOF, DO HEREBY AGREE THAT THE ABOVE DESCRIBED PROPERTY WILL BE DEVELOPED AS A PLANNED DEVELOPMENT IN ACCORDANCE WITH THE USES, RESTRICTIONS, AND CONDITIONS CONTAINED IN THIS PLAN. FURTHER, THE CITY OF LITTLETON IS HEREBY GRANTED PERMISSION TO ENTER ONTO SAID PROPERTY FOR THE PURPOSES OF CONDUCTING INSPECTIONS TO ESTABLISH COMPLIANCE OF THE DEVELOPMENT OF THE PROPERTY WITH ON-SITE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, LANDSCAPING, DRAINAGE FACILITIES, PARKING AREAS, AND TRASH ENCLOSURES. IF, UPON INSPECTION, THE CITY FINDS DEFICIENCIES IN THE ON-SITE IMPROVEMENTS AND, AFTER PROPER NOTICE, THE DEVELOPER SHALL TAKE APPROPRIATE CORRECTIVE ACTION. FAILURE TO TAKE SUCH CORRECTIVE ACTION SPECIFIED BY THE CITY SHALL BE GROUNDS FOR THE CITY TO APPLY ANY OR ALL OF ANY REQUIRED FINANCIAL ASSURANCE TO CAUSE THE DEFICIENCIES TO BE BROUGHT INTO COMPLIANCE WITH THIS PD PLAN, OR WITH ANY SUBSEQUENT AMENDMENTS HERETO.

SIGNATURE OF OWNER OR AGENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC

CITY ATTORNEY APPROVAL:

APPROVED AS TO FORM:

CITY ATTORNEY \_\_\_\_\_

CITY COUNCIL APPROVAL:

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE LITTLETON CITY COUNCIL.

COUNCIL PRESIDENT

ATTEST:

CITY CLERK

RECORDING CERTIFICATION:

THIS DOCUMENT WAS FILED FOR RECORDS IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF ARAPAHOE COUNTY AT \_\_\_\_\_ M, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_, MAP \_\_\_\_\_, RECEPTION NUMBER \_\_\_\_\_

COUNTY CLERK AND RECORDER

BY:

DEPUTY

MINERAL ESTATE OWNERS:

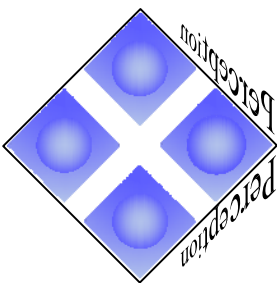
I HAVE SEARCHED THE RECORDS OF THE ARAPAHOE COUNTY TAX ASSESSOR AND THE ARAPAHOE COUNTY CLERK AND RECORDER FOR THE LAND THAT IS SUBJECT OF THIS APPLICATION AND HAVE FOUND THAT NO MINERAL ESTATE OWNER IS IDENTIFIED THEREIN PURSUANT TO C.R.S. § 24-65.5-103.

SIGNATURE OF OWNER AND/OR AGENT

ADDRESS

ZONING COMPARISON CHART

ZONING REQUIREMENTS	EXISTING ZONE DISTRICT	PROPOSED ZONE DISTRICT
USES	ALL USES PERMITTED UNDER THE B-2 DISTRICT, EXCEPT ARCADES, AUTOMOTIVE REPAIRS OR GAS PUMP USE, SEPARATE FAST FOOD RESTAURANTS, OR ANY PERMANENT OUTDOOR USES	ALL EXISTING PD PLAN USES AND ASSISTED LIVING FACILITIES
MINIMUM UNOBSTRUCTED OPEN SPACE	20%	20%
MINIMUM OPEN SPACE REQUIREMENT	23.83%	23.83%
PARKING RATIOS	1/300 SF OFFICE 1/200 SF RETAIL	PER CITY CODE
MAX. BUILDING HEIGHT	36'	41'-1"
MIN. BUILDING SETBACKS	30' PHILLIPS 25' COUNTY LINE 0' WEST PROPERTY LINE	80' PHILLIPS 25' COUNTY LINE 0' WEST PROPERTY LINE
TOTAL SITE AREA	LOT 1B 1984 AMENDMENT	3.3222 ACRES
BUILDING FOOTPRINT	48,800 SQUARE FEET	144,715 SQUARE FEET
GROSS BUILDING FLOOR AREA	55,800 SQUARE FEET	28,354 SQUARE FEET
PAVEMENT AREA	118,483 SQUARE FEET	98,650 SQUARE FEET
FLOOR AREA RATIO	0.73	75,509 SQUARE FEET 0.68



Perception  
Design Group, Inc.

Consulting Civil Engineers

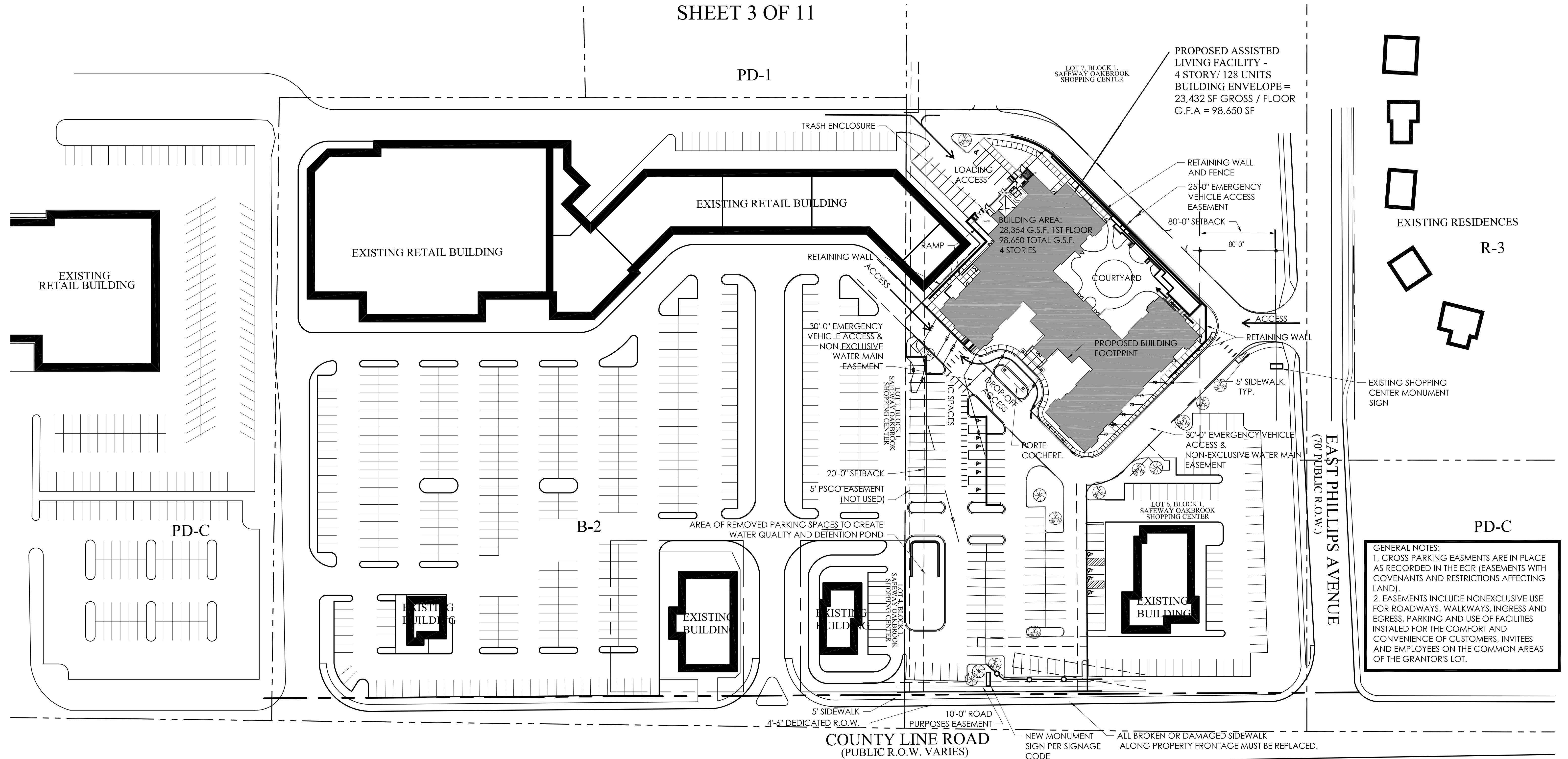
6901 South Pierce Street, Suite 350 Littleton, Colorado 80128  
Office: 303-232-8088 Fax: 303-232-5255





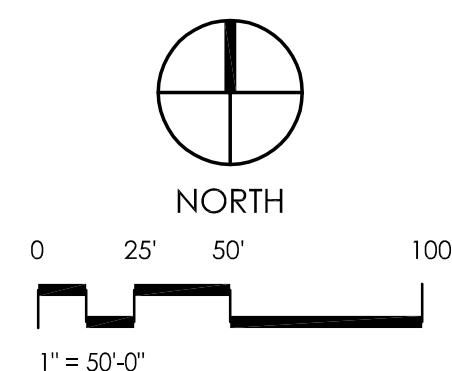


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 LOT 5, BLOCK 1, SAFEWAY OAKBROOK SHOPPING CENTER  
 CITY OF LITTLETON, ARAPAHOE COUNTY, STATE OF COLORADO  
 CASE NO. ADP14-0002  
 SITE PLAN  
 SHEET 3 OF 11



**GENERAL NOTES:**  
 1. CROSS PARKING EASEMENTS ARE IN PLACE AS RECORDED IN THE ECR (EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND).  
 2. EASEMENTS INCLUDE NONEXCLUSIVE USE FOR ROADWAYS, WALKWAYS, INGRESS AND EGRESS, PARKING AND USE OF FACILITIES INSTALLED FOR THE COMFORT AND CONVENIENCE OF CUSTOMERS, INVITEES AND EMPLOYEES ON THE COMMON AREAS OF THE GRANTOR'S LOT.

COUNTY LINE ROAD  
 (PUBLIC R.O.W. VARIES)



**LEE ARCHITECTS/  
 INTERIOR DESIGNERS**  
 2525 S. WADSWORTH BLVD. SUITE #21  
 DENVER, COLORADO 80227  
 PHONE: 303/989-4500 FAX: 989-4511

**Design Group, Inc.**  
 Consulting Civil Engineers  
 6901 South Pierce Street, Suite 350 Littleton, Colorado 80128



311-E

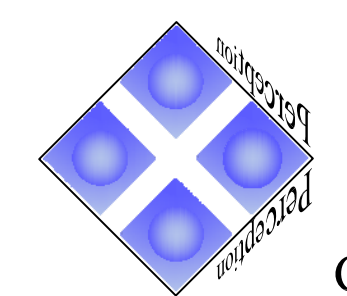
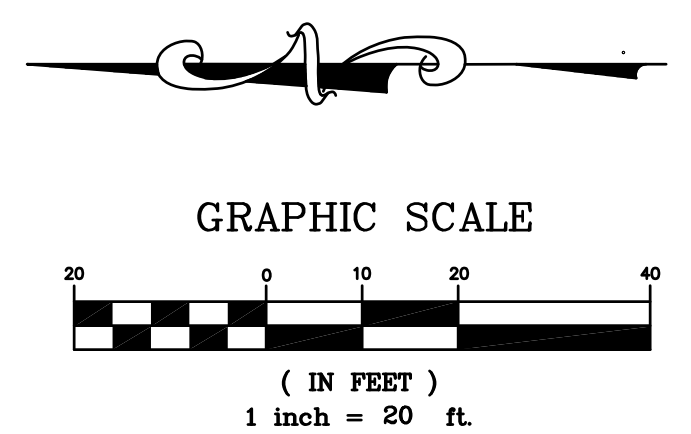
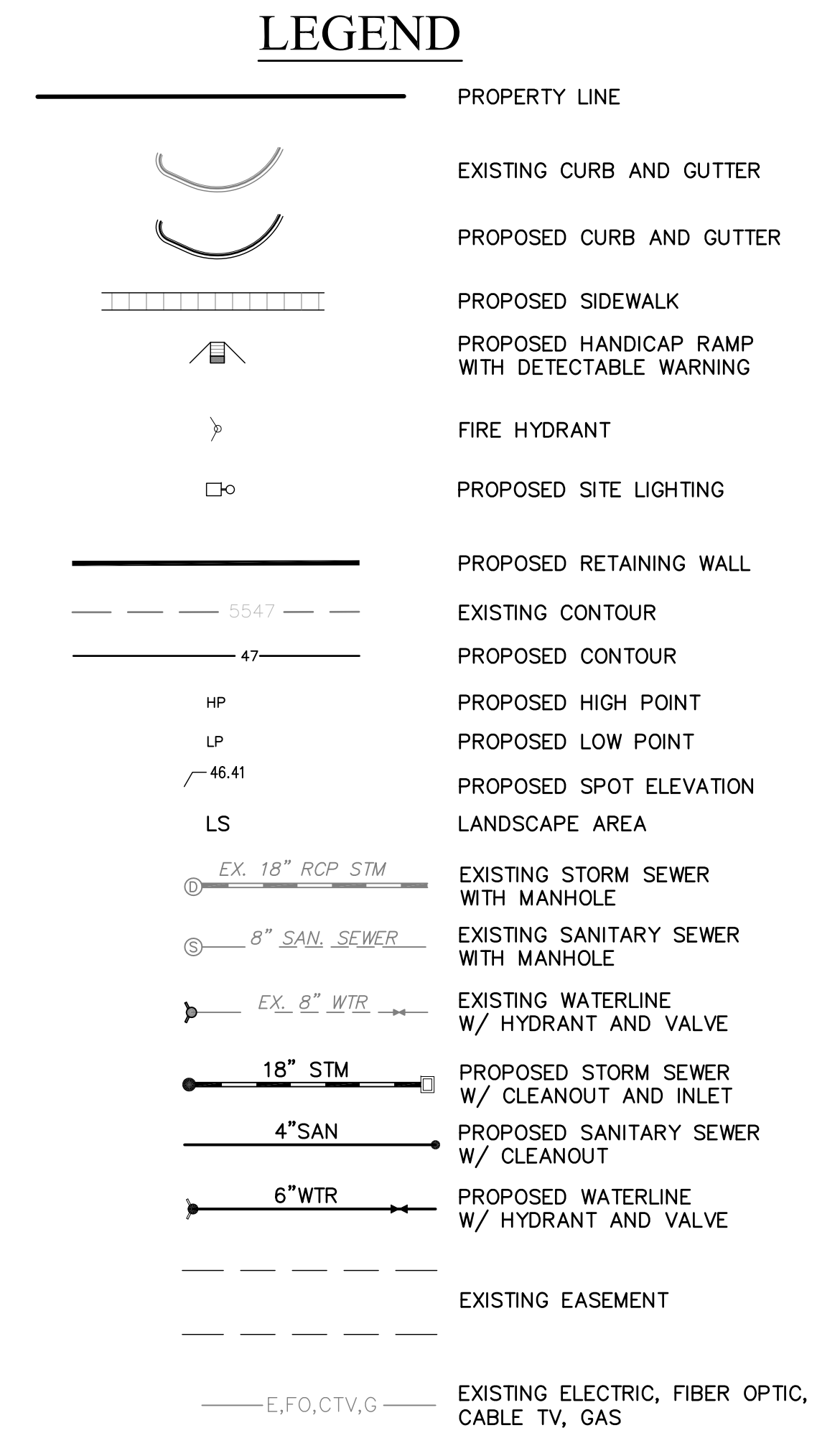
OAKBROOK  
SHOPPING  
CENTER

201 211 301

8' 398'

CR20

SOUTH SUBURBAN PARK PROPERTY



# Perception

## Design Group, Inc.

Consulting Civil Engineers

6901 South Pierce Street, Suite 350 ♦ Littleton, Colorado 80128  
Office: 303-232-8088 ♦ Fax: 303-232-5255



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CITY OF LITTLETON, ARAPAHOE COUNTY, STATE OF COLORADO  
CASE NO. ADP14-0002  
DEVELOPMENT GUIDELINES  
SHEET 5 OF 11

DEVELOPMENT  
GUIDELINES - OAKBROOK  
SHOPPING CENTER

I. PURPOSE

These guidelines have been created to set a standard of design quality, character, and scale for new development at the parcel of land located north of County Line Road, West of Phillips Avenue and east of South Broadway. As the site lies between a single family residential neighborhood to the East and the South Broadway commercial corridor to the West, located in the Oakbrook Shopping Center, it has a responsibility and an opportunity to enhance the residential and commercial community by providing a blending transition between the various surrounding uses.

The site should therefore be developed to a mixed residential and commercial scale and form, without the high traffic impact that commercial and multi-family projects bring. An Assisted Living facility accomplishes this through its scale, character, and low impact, and is an appropriate use for this parcel.

Assisted Living facility (ALF): A state licensed rental property that provides central dining facilities as part of a tenant's monthly fee with access to services such as housekeeping, linen service, transportation, social and recreational activities. An Assisted Living facility may also provide, in a majority of units, supportive care from trained employees to residents who are unable to live independently and require assistance with activities of daily living (ADL's) including management of medications, bathing, dressing, personal hygiene, mobility and meals. These facilities do not provide health care services but do have doctor and nursing rooms or suites that are outsourced to visiting professionals. Many of these properties include wings or floors dedicated to residents with Alzheimer's or other forms of dementia. A property that specializes in the care of residents with Alzheimer's or other forms of dementia is considered an Assisted Living facility. A property that provides on-staff health care services is not an Assisted Living Facility.

II. SITE DEVELOPMENT

A. GENERAL

1. The site shall be developed in a way that addresses South Broadway/County Line Road commercial districts and east in their respectively appropriate ways.
2. The development shall consist of a single building of four stories with multiple wings, rather than a flat façade that would provide a straight blank face oriented to the residential neighborhood.
3. The building entry shall face south toward County Line Road and the majority of automobile traffic shall be concentrated on the south side of the development.
4. Ingress and egress from the site, as the traffic study indicates shall have minimal impact on County Line Road or East Phillips Avenue.

B. BUILDING PLACEMENT

1. The building shall be placed in a manner that aligns with the layout of the access roads and the store fronts of the shopping center.
2. The building shall be place in a manner that allows a landscaping buffer along the east side of the site.

3. The building shall be placed to allow an open space secure courtyard on the northeast side of the building.

C. ACCESSORY STRUCTURES

1. Accessory structures shall be limited to enclosures for trash, mechanical and for electrical equipment. Such structures shall be limited to eight feet in height, and shall be constructed of concrete masonry units faced with masonry to match that used on the main building. The enclosures gates shall be faced with metal, painted to match the main buildings color scheme.
2. Accessory structures shall be located immediately adjacent to the north-west side of the building.

D. RETAINING WALLS

1. Any retaining walls shall be either reinforced concrete walls segmental/block walls made of architectural grade modular concrete units. The color shall complement the main building.
2. Any retaining walls greater than 6'-0" in height shall be engineered reinforced concrete walls with decorative reveals imprinted on them. Walls greater than 6'-0" in height shall be exposed to the general public as walls less than 3'-6" in height. This height will provide a safe barrier in lieu of a guardrail. Walls shall be landscaped at the head and foot of the walls.
3. Any retaining walls facing the building may have landscaping added for aesthetic appeal.
4. Retaining wall shall be made of high quality materials and the design shall compliment the main building

E. LANDSCAPING

1. The landscape design shall follow the guidelines established by the City of Littleton.
2. The landscape design shall use drought tolerant plant materials where well suited to the regional climate and microclimates that exist on the site.
3. Plantings shall be situated to frame and soften the building presenting an attractive view from the street.
4. The neighborhoods to the east shall be buffered from the new development with the use of carefully placed arrangements of evergreens, deciduous trees and shrubs.
5. The landscape design shall provide a range of seasonal color and texture.
6. The landscape design shall incorporate the proposed detention/water quality area and pedestrian connection to the adjacent shopping center.
7. Retaining walls shall be made of high quality materials, be complimentary to the main building and be softened and framed with shrub cover, ornamental grass and trees.
8. Activity areas near the building shall be designed with attractive shrub/perennial beds for the benefit of residents.
9. The landscape design shall provide sitting areas on the south west side adjacent to the main entry and drop-off. The internal courtyard will provide a variety of multi-seasonal activities including gardens, seating, meeting and group activity areas.

F. FENCING

1. Fencing shall be maintained along the north and east boundary and retaining walls in addition to new landscape screening as outlined above.
2. Any new fencing shall match the height and materials of the

existing fence in the shopping center.

G. SIGNAGE

1. Signage shall be limited to one monument sign adjacent to County Line Road. No pole mounted or building mounted signage shall be allowed, other than that required for handicapped access identification, building address identification, or directional signage.
2. Signage shall be in accordance with City of Littleton ordinances.

H. LIGHTING

1. Exterior lighting shall be in accordance with City of Littleton ordinances.
2. Pole mounted lighting shall be no greater than 20'-0" in height, and shall be designed for full cutoff so that no light extends beyond the boundaries of the property.
3. Building mounted lighting shall be for exiting and way-finding purposes and shall be limited to low level pedestrian scale fixtures.

III. ARCHITECTURAL DESIGN

A. ARCHITECTURAL CONCEPT  
STATEMENT

The architectural design of this development shall be developed in a manner contextually appropriate to the site. With South Broadway and the shopping center to the west, a beautiful and established residential neighborhood to the east and north, the building and site design must respond to multiple contextual factors and provide a transition among these varied elements. This single building shall be sited in a manner that allows adequate landscape screening to the east and north and the existing center provides significant screening between it and County Line Road/C470.

B. BUILDING FORM

1. BUILDING SIZE

- a. The building shall be of a scale that is appropriate to the commercial/residential context of the immediate area.
- b. The building shall be no more than four stories in height.
- c. The building shall be no more than 41'-1" in height as defined by the City of Littleton code, except cupolas and other architectural roof features not exceeding 600 square feet in area. Such features shall not exceed 50'-0" from the referenced datum to the top peak of the cupola or other roof feature. Actual building height is 51'-1".
- d. The building shall have footprint of no greater than 28,354 square feet in area.

2. BUILDING MASSING

- a. The building shall be composed of numerous textures, colors, materials and window elements. These materials will be in the same family as the existing

shopping center.

- b. To address its residential neighbors' concerns about height and provide appropriate drainage, the building's main roof shall be flat. Vertical projecting features will establish a smaller scale for the building roof line.
- c. Façade elements shall be composed such that there is no uninterrupted façade plane greater than 65' in length or 16' in height, unless a change in materials and/or colors is employed.
- d. Large roof forms shall be broken down with varying height parapets.
- e. A minimum of three different materials, textures and/or colors shall be employed to break down the building massing.

- b. Wherever practicable, exterior doors shall be residential in appearance, including glazing panels with muntin patterns that complement those of the buildings windows.
- c. Windows shall be residential in appearance, with trim and muntin patterns appropriate to the scale and style of the building.
- d. Windows shall be located to maximize views of outdoor landscape areas, courtyards, entry, and natural features.
- e. Glass shall be of a non-reflective nature. Clear glass or light bronze tinting will compliment the adjacent residential neighborhood.

5. PATIOS & COURTYARDS

- a. Patios and courtyards shall be used to break down the building's scale, to provide articulation and ornamentation to compliment the façade, and to provide opportunities for greater light and ventilation to the living units within.
- b. Common space courtyards shall be placed away from County Line Road and enclosed within building elements on three sides. These patios shall be lighted appropriately for evening use, as well as landscaped to provide shade, beauty, and scale to the patio area.

D. BUILDING MATERIALS

1. Masonry used in the development shall be either natural or cast stone and brick. Stone shall be the primary masonry type employed as the building base, with brick as a middle band for tempering the scale of the building with ceramic tile elements acting as accents where appropriate.
2. The primary façade materials shall be stucco/ brick and stone. Ceramic tile accents will be used to highlight certain features. At least two textures/patterns of stucco shall be employed on the total building exterior.
3. Stucco shall account for no more than 50 percent of the exterior of the building. EIFS shall not be used in place of stucco.
4. Materials that convey a sense of quality, permanence, and attention to detail shall be used.

E. BUILDING COLORS

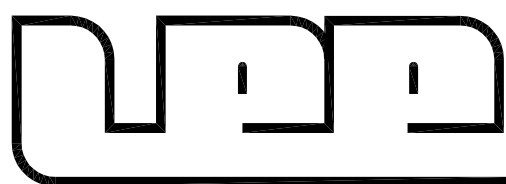
1. Colors shall be used in a manner that complements and enriches the existing shopping center and neighborhood context.
2. Colors shall be used, when applicable, in a manner that expresses the building materials in a natural way.
3. While more saturated color schemes are preferred over dull, washed out colors, no bright, fluorescent colors shall be employed that are not contextually appropriate within a residential neighborhood.

3. ROOFS

- a. The roof shall be designed in accordance with, and in support of, the building size and massing guidelines set forth previously in these guidelines.
- b. All rooftop mechanical equipment shall be located within equipment screens. The top-of-screen wall elevation shall be equal to or higher than the top of all mechanical equipment in the area it surrounds.
- c. Parapets will be a maximum of 1'-6" tall and all roof top equipment will be far enough from the edge to remove the need for any guardrails.

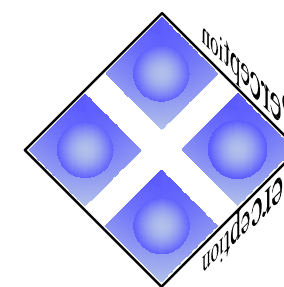
4. DOORS & WINDOWS

- a. Automatic entry doors shall be used at the main building entry only. All other exterior doors shall be standard, manual swing doors.



**LEE ARCHITECTS/  
INTERIOR DESIGNERS**

2525 S. WADSWORTH BLVD. SUITE #21  
DENVER, COLORADO 80227  
PHONE:303/989-4500 FAX:989-4511



**Design Group, Inc.**

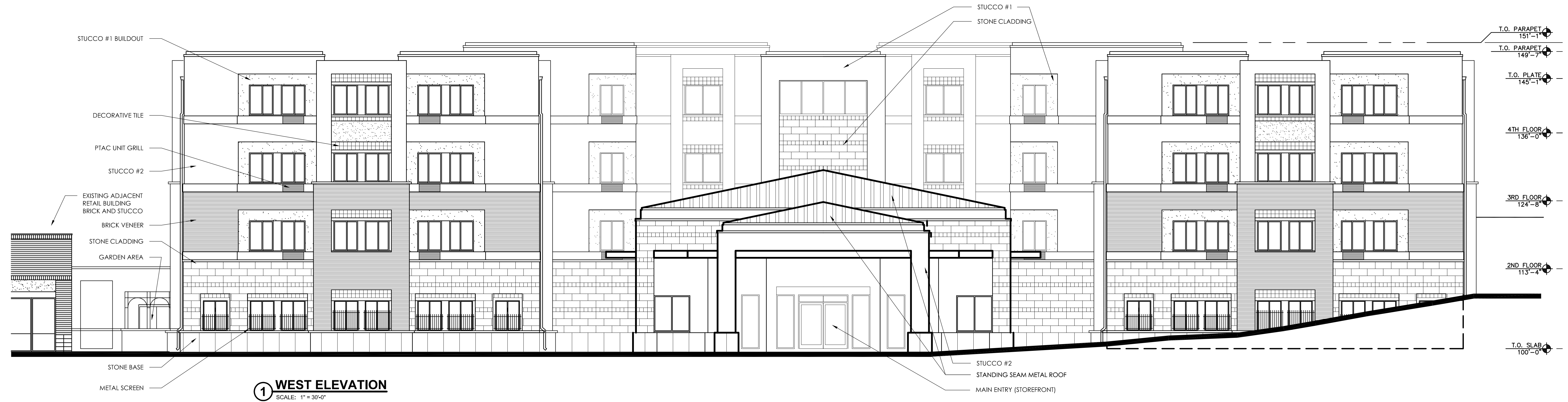
**Consulting Civil Engineers**

6901 South Pierce Street, Suite 350 Littleton, Colorado 80128



AMENDED GENERAL PLANNED DEVELOPMENT PLAN  
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LOT 5, BLOCK 1, SAFEWAY OAKBROOK SHOPPING CENTER  
CITY OF LITTLETON, ARAPAHOE COUNTY, STATE OF COLORADO  
CASE NO. ADP14-0002  
BUILDING ELEVATIONS  
SHEET 6 OF 11

NOTE:  
THESE ELEVATIONS ILLUSTRATE A PROPOSED  
CONCEPTUAL DESIGN INTENT AND ARE  
INTENDED TO ALLOW MINOR MODIFICATIONS IN  
SUBSEQUENT SITE DEVELOPMENT PLANS



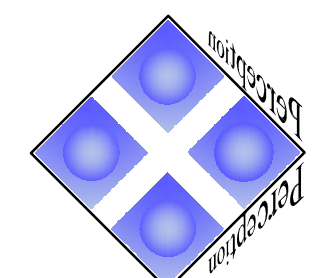
1 WEST ELEVATION  
SCALE: 1" = 30'-0"



2 SOUTH ELEVATION  
SCALE: 1" = 30'-0"

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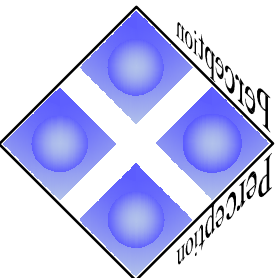
BUILDING ELEVATIONS  
SHEET 7 OF 11

NOTE:  
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6901 South Pierce Street, Suite 350 Littleton, Colorado 80128



# AMENDED GENERAL PLANNED DEVELOPMENT PLAN

## SAFeway OAKBROOK SHOPPING CENTER

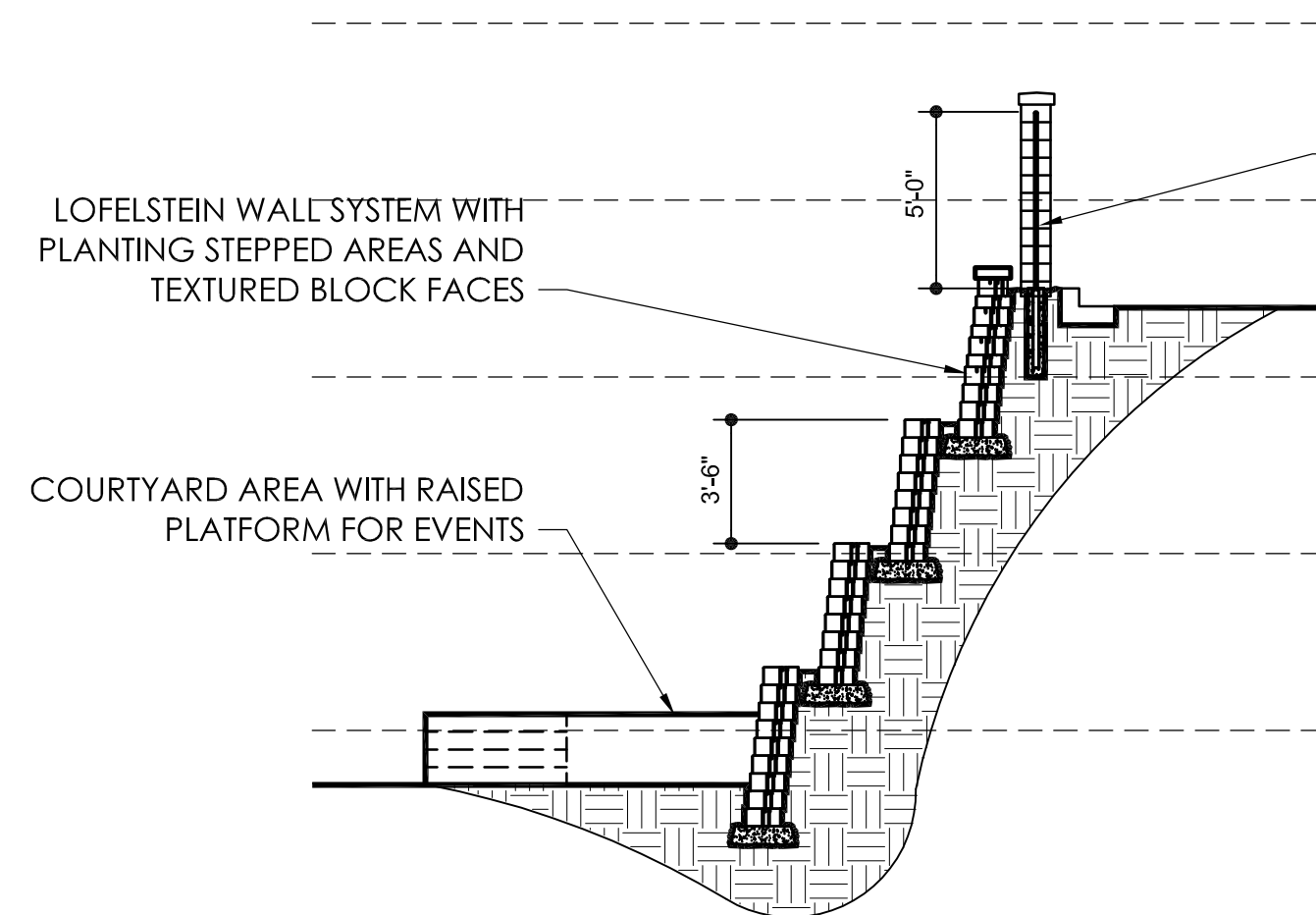
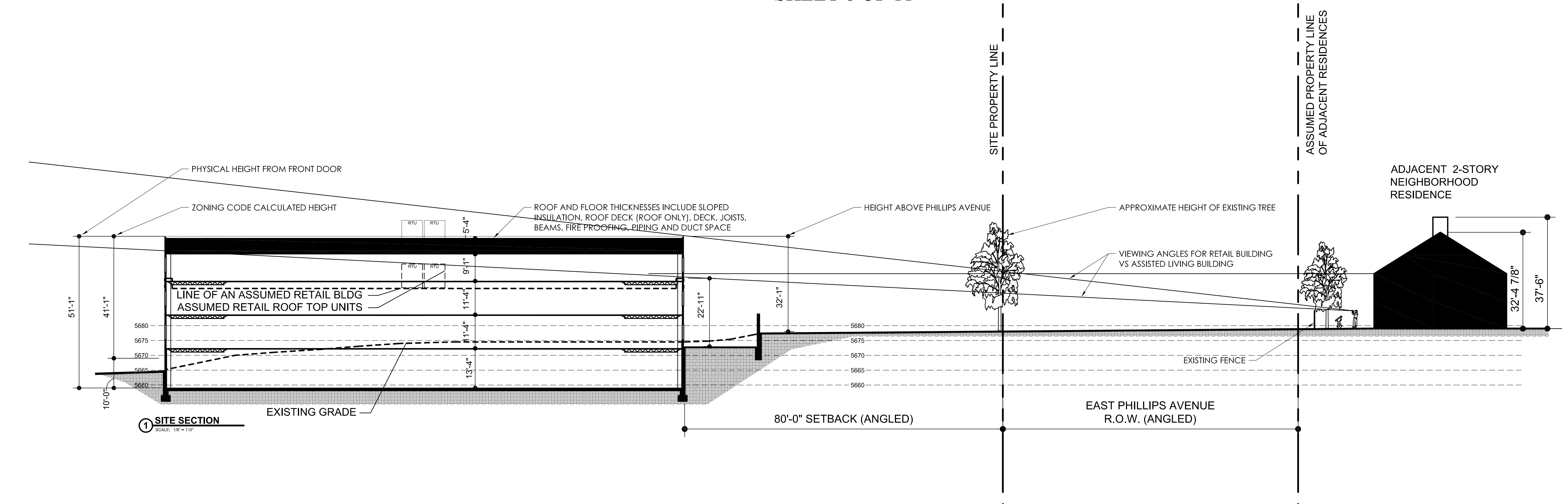
### LOT 5, BLOCK 1, SAFEWAY OAKBROOK SHOPPING CENTER

### CITY OF LITTLETON, ARAPAHOE COUNTY, STATE OF COLORADO

### CASE NO. ADP14-0002

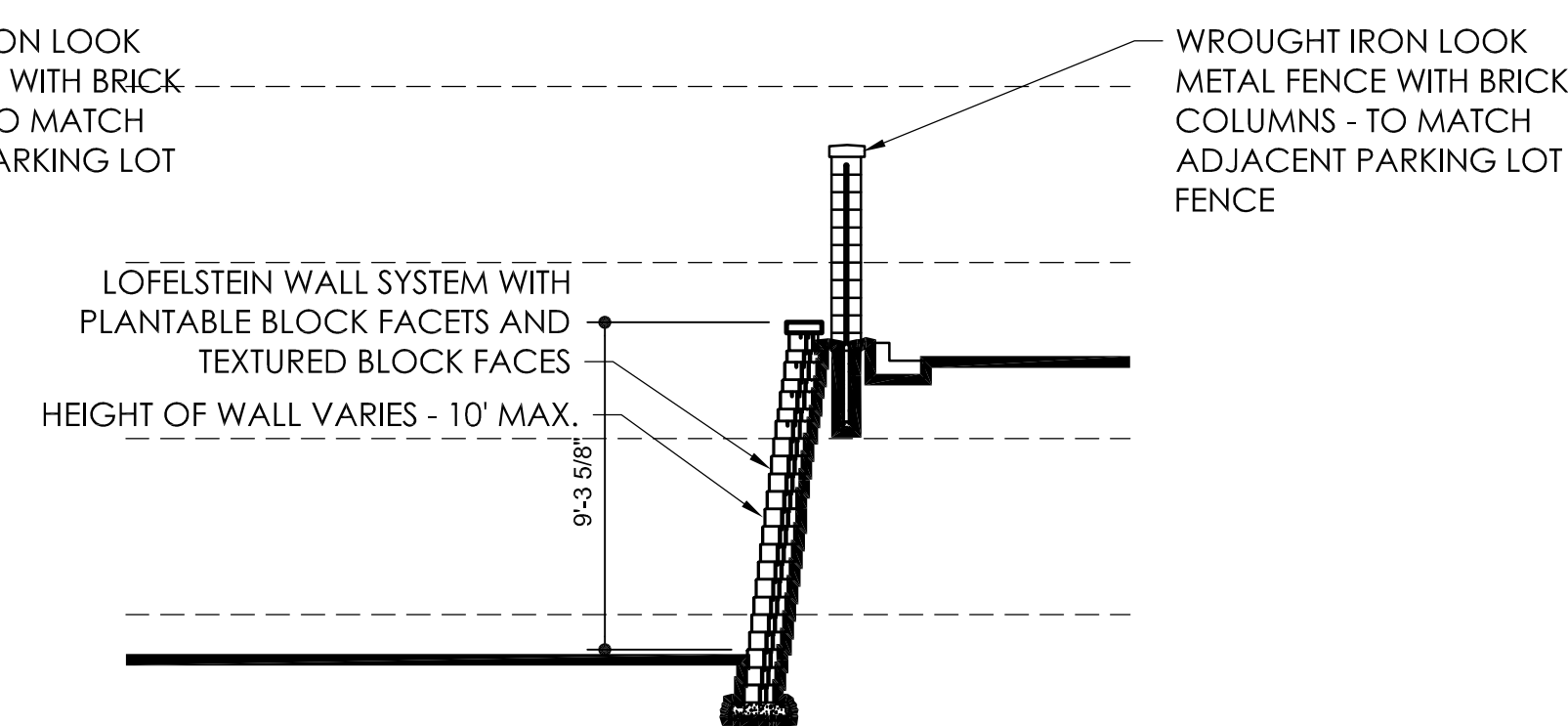
## SITE SECTION

### SHEET 8 OF 11



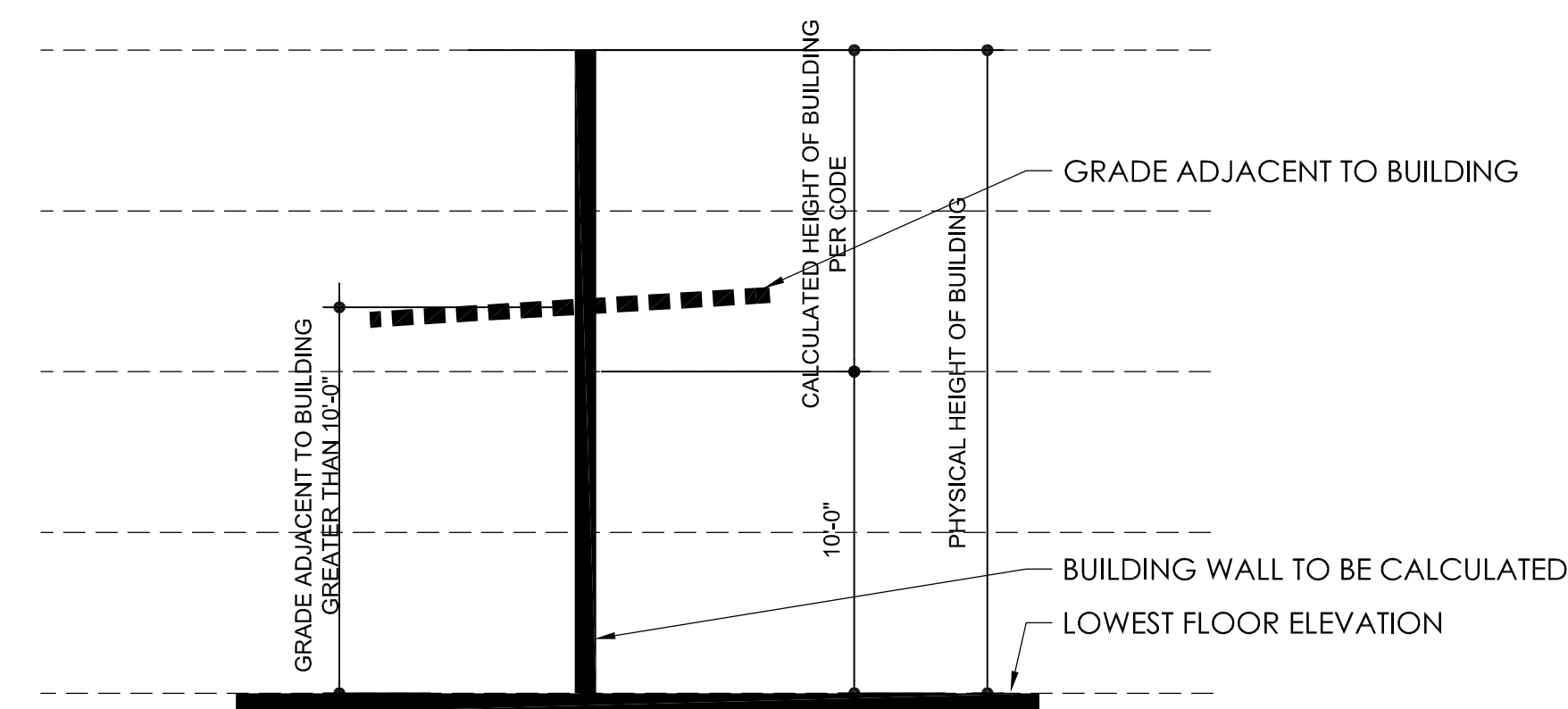
② STEPPED RETAINING WALL

SCALE: 3/16" = 1'-0"



③ TYPICAL RETAINING WALL

SCALE: 3/16" = 1'-0"

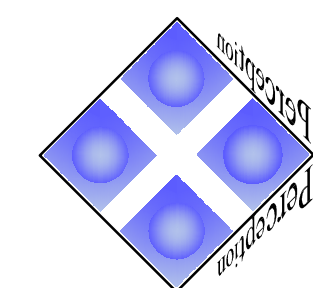


③ ZONING REGULATIONS 10-1-2 - HEIGHT

SCALE: 3/16" = 1'-0"



2525 S. WADSWORTH BLVD. SUITE #21  
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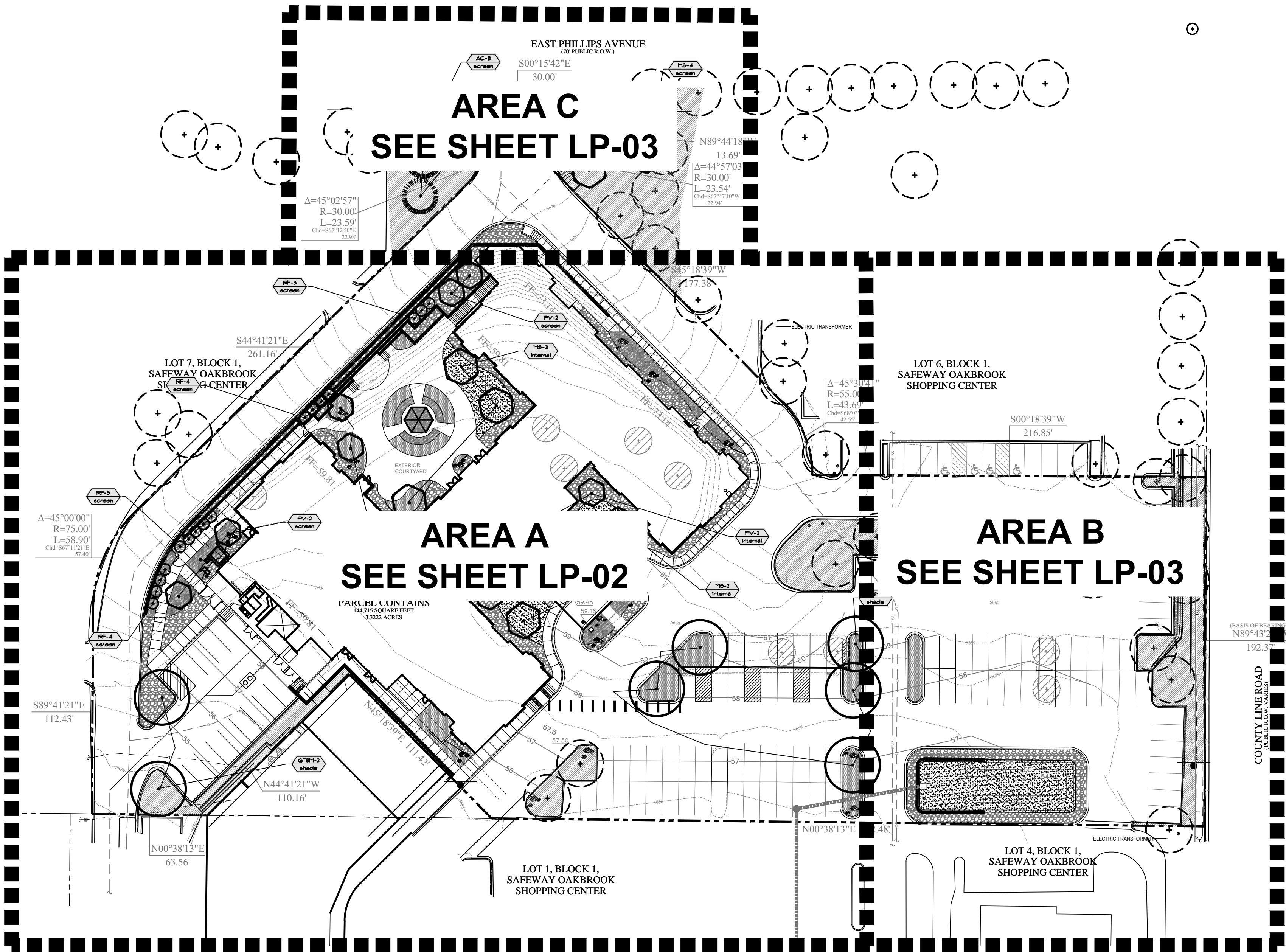
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CASE NO. ADP14-0002  
LANDSCAPE PLAN

**SITE CALCULATIONS**  
TOTAL PROPERTY: 144,715 SF  
PROPOSED LANDSCAPE AREA: 18,525 SF  
EXISTING LANDSCAPE AREA: 17,797 SF  
TOTAL LANDSCAPE AREA: 36,322 SF  
PERCENTAGE LANDSCAPED: 26%

THIS PLAN IS PRELIMINARY. SHRUBS, ORNAMENTAL GRASS AND PERENNIALS WILL BE SHOWN ON THE FINAL LANDSCAPE PLAN TO MEET THE CITY OF LITTLETON LANDSCAPE GUIDELINES AND ZONING REQUIREMENTS.



PLANT PALETTE

**TREE: 2" CAL, B&B, 8-10' EVERGREEN**  
MS-MALUS 'SPRING SNOW'-SPRING SNOW CRAB APPLE.....0  
PB-PRUNUS BESSEY-WESTERN SAND CHERRY.....0  
GTSM - SHADEMASTER HONEYLOCUST.....0  
AC - WHITE FIR.....0  
PV - CANADA RED CHOKECHERRY.....0

**EVERGREEN SHRUB: #5 CONT.**  
EFM-YUCCA FILAMENTOSA - 'GOLDEN SWORD'.....0  
JCO-YUCCA FILAMENTOSA - 'ADAMS NEEDLE'.....0  
HP-HESPERALOE PARVIFLORA-RED YUCCA.....0  
JR-JUNIPERUS HORIZONTALIS 'WILTON'-BLUE RUG JUNIPER.....0

**DECIDUOUS SHRUB: #5 CONT.**  
CC-CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'-DARK KNIGHT BLUE MIST SPIREA.....0  
RF-TALL HEDGE BUCKTHORN.....0  
RHA-RHUS AROMATICA 'GRO-LOW' SUMAC GRO-LOW.....0  
POS-PHYSOCARPUS OPULIFOLIUS 'SUMMER'S WINE' SUMMER'S WINE NINEBARK.....0  
FN-FORESTIERA NEOMEXIANA-NEW MEXICO PRIVET.....0  
PAT-PEROVSKIA ATRIPICIFOLIA-RUSSIAN SAGE.....0  
RKD-ROSA X KNOCKOUT DOUBLE - DOUBLE KNOCKOUT ROSE.....0  
RM-ROSA MEINLEBLE FIRE MEIDLAND-MEIDLAND ROSE.....0

**ORNAMENTAL GRASS: #1 CONT.**  
CBR-ERIANTHUS RAVENNAE- HARDY PAMPAS GRASS.....0  
CA-CALAMAGROSTIS ACUTIFLORA 'KARL FORESTER' - FEATHER REED GRASS.....0  
HS-HELICTOTRICHON SEMPERVIRENS - BLUE OAT GRASS.....0  
PVH-PANICUM VIRGATUM 'HEAVY METAL' - HEAVY METAL GRASS.....0  
SSB-SCHIZACHYRIUM SCOPARIUM 'BLAZE' - LITTLE BLUESTEM.....0  
PF-PENNISETUM ALOPECUROIDES.....0

**PERENNIAL: #1 CONT.**  
ACH-CHILLEA MILLEFOLIUM 'PAPRIKA'-PAPRIKA YARROW.....0  
PSH-PHLOX SUBULATA-CREEPING PHLOX.....0  
CST CERASTIUM TOMENTOSUM-SNOW IN SUMMER.....0

GROUND COVER LEGEND

SYMBOL	DESCRIPTION	APPROX. SF
	Kentucky Bluegrass Sod. See Notes	TBD SF
	Decorative Rock 1 1/2" Diameter (with weed barrier) (FLP to include shrubs and ornamental grass to meet 75% cover)	TBD SF
	Decorative Rock 2-4" Diameter (with weed barrier) (FLP to include shrubs and ornamental grass to meet 75% cover)	TBD SF
	Decorative Rock 3/4" Diameter (with weed barrier) (FLP to include shrubs and ornamental grass to meet 75% cover)	TBD SF
	Decorative Rock 3/4" Diameter (with weed barrier) (FLP to include shrubs and ornamental grass to meet 75% cover)	TBD SF
	Organic Wood Mulch: Shredded Cedar (FLP to include shrubs and ornamental grass to meet 75% cover)	TBD SF
	Decorative Broadmoor Boulders: sm: 18" Dia, lg: 36" Dia.	TBD
	Metal Edge: See notes	See plan for location

NOTE: QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY.  
CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

I, \_\_\_\_\_, owner, or designated agent thereof, shall complete the landscape improvements shown on this plan. Maintenance of the landscape improvements shall comply with Title 10, Chapter 5 of the Littleton City Code. It is hereby acknowledged that maintenance of the landscape improvements is not personal to the developer, but runs with the land and shall be the responsibility of all current and future owners/occupants.

Signature of Owner or Agent \_\_\_\_\_ Date \_\_\_\_\_

DOCUMENT NOTE

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OVERALL LANDSCAPE PLAN

ALL EXISTING PLANT MATERIAL IN CONSTRUCTION AREA TO BE REMOVED PRIOR TO CONSTRUCTION EXCEPT WHERE NOTED.



NOT TO SCALE

UTILITIES NOTE

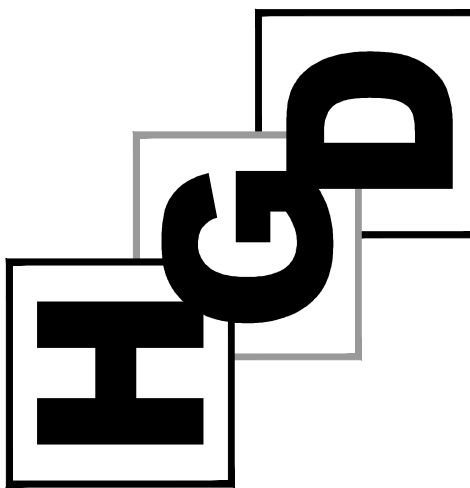
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ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

HIGHER GROUND DESIGNS  
LANDSCAPE ARCHITECTURE & IRRIGATION DESIGN

3610 REBECCA LANE, STE. 111  
COLORADO SPRINGS, CO 80917  
Phone 719-477-1646  
Fax 719-268-1122



OAKBROOK ASSISTED LIVING  
OAKBROOK SHOPPING CENTER, LOT 5  
CITY OF LITTLETON, CO

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PREPARED FOR:

NOT FOR CONSTRUCTION (For Approval Only)

JOB NUMBER  
467-14

REVISIONS

9-29-14 PER CITY COMMENTS

ORIGINAL DATE 6-18-14

DRAWN BY JIM

DESCRIPTION

PRELIMINARY

LANDSCAPE PLAN

SHEET NO.

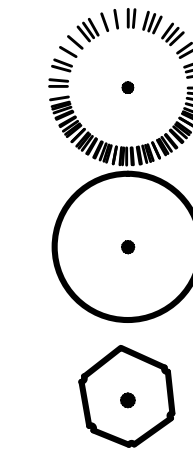
LP-01

9 OF 11

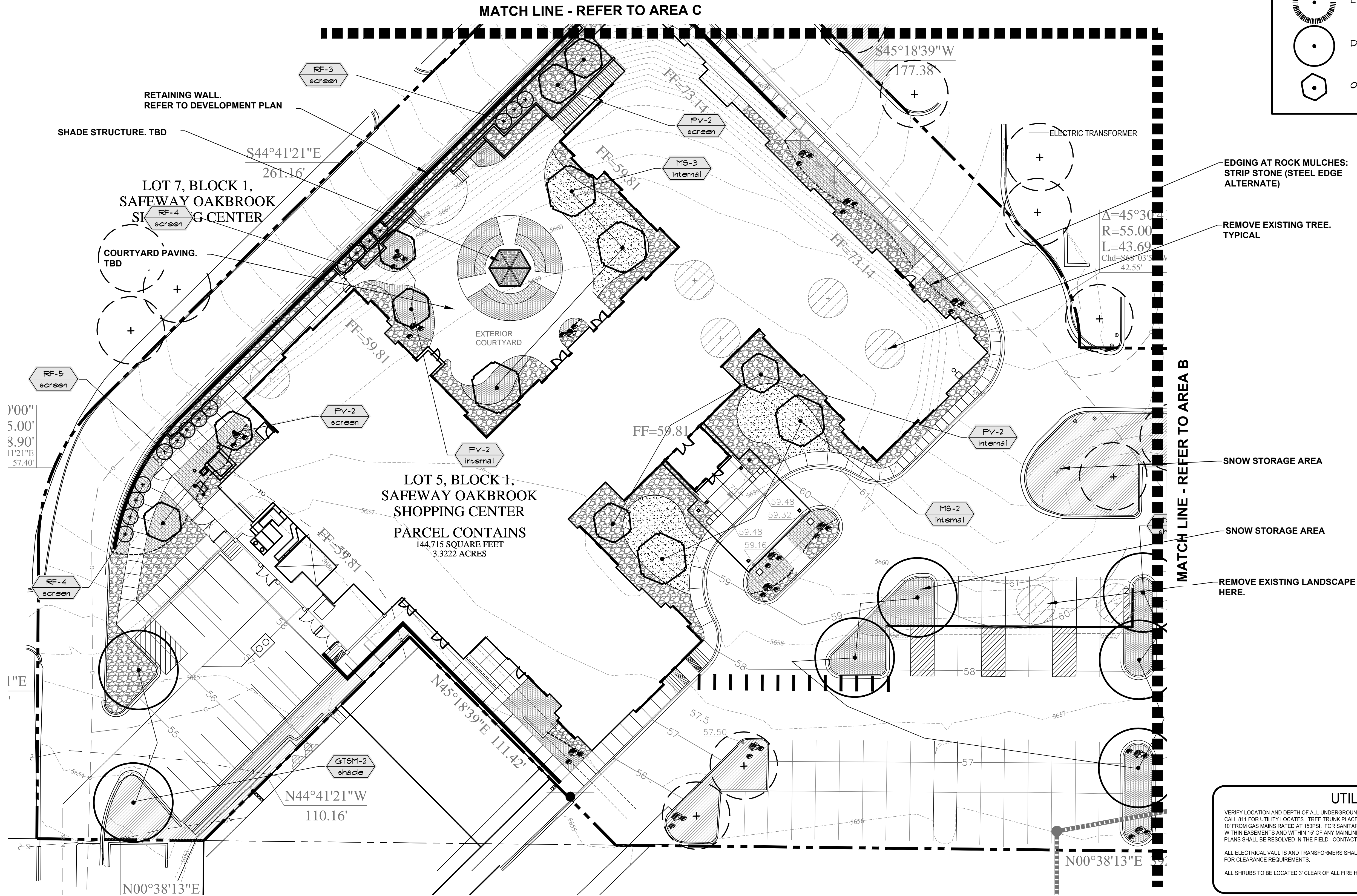


AMENDED GENERAL PLANNED DEVELOPMENT PLAN  
SAFEWAY OAKBROOK SHOPPING CENTER  
LOT 5, BLOCK 1, SAFEWAY OAKBROOK SHOPPING CENTER  
CITY OF LITTLETON, ARAPAHOE COUNTY, STATE OF COLORADO  
CASE NO. ADP14-0002  
LANDSCAPE PLAN

PLANT SYMBOL



EVERGREEN TREE  
DECIDUOUS TREE  
ORNAMENTAL TREE



LANDSCAPE PLAN - AREA A

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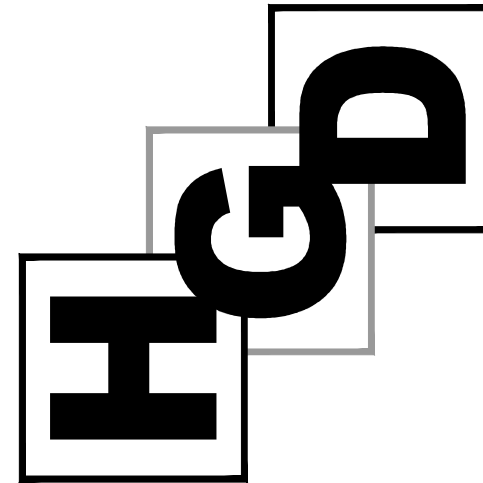
PREPARED FOR:

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JOB NUMBER	467-14
REVISIONS	
9-29-14	PER CITY COMMENTS
ORIGINAL DATE	6-18-14
DRAWN BY	JM
DESCRIPTION	PRELIMINARY LANDSCAPE PLAN
SHEET NO.	LP-02
	10 OF 11

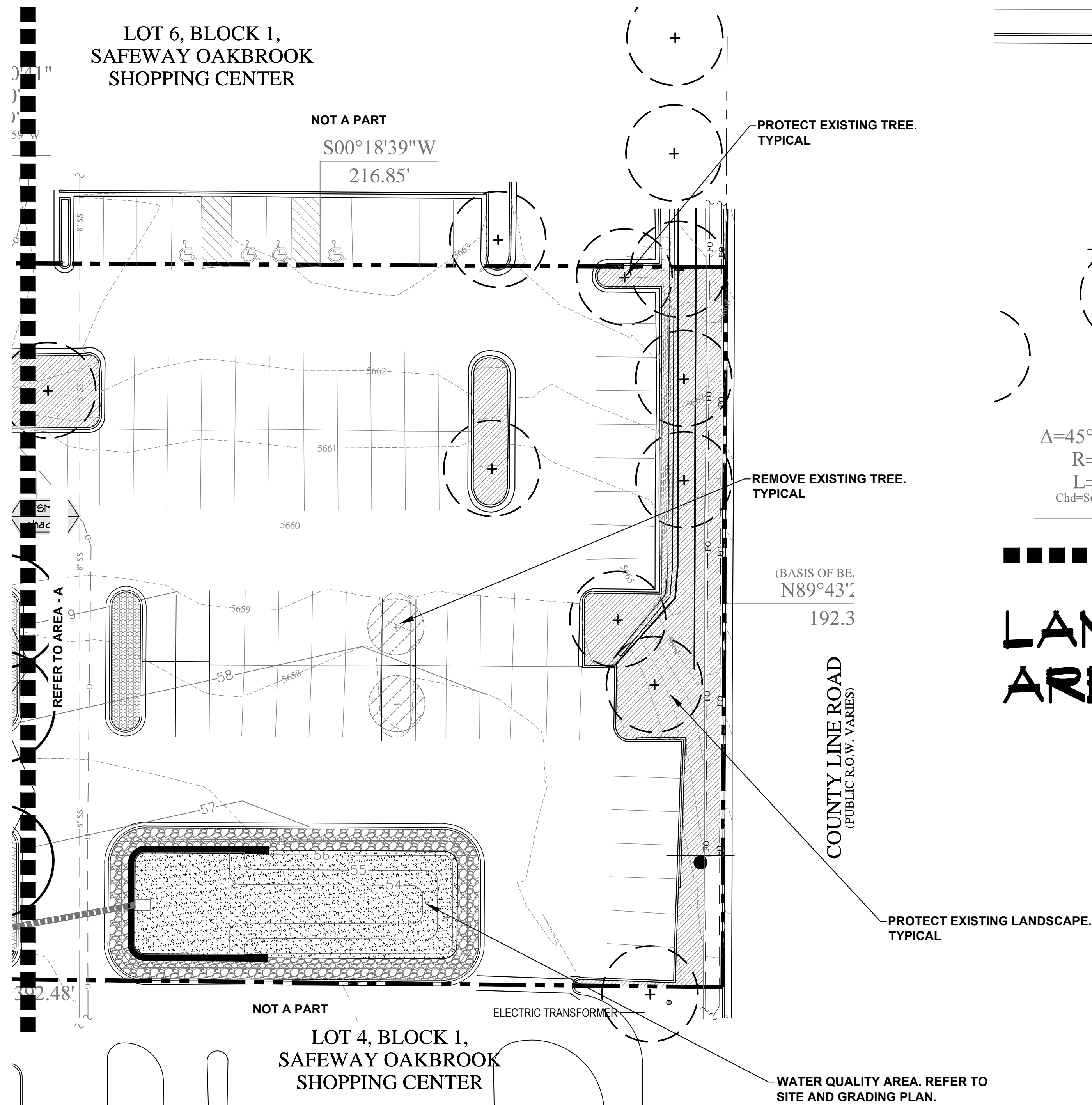
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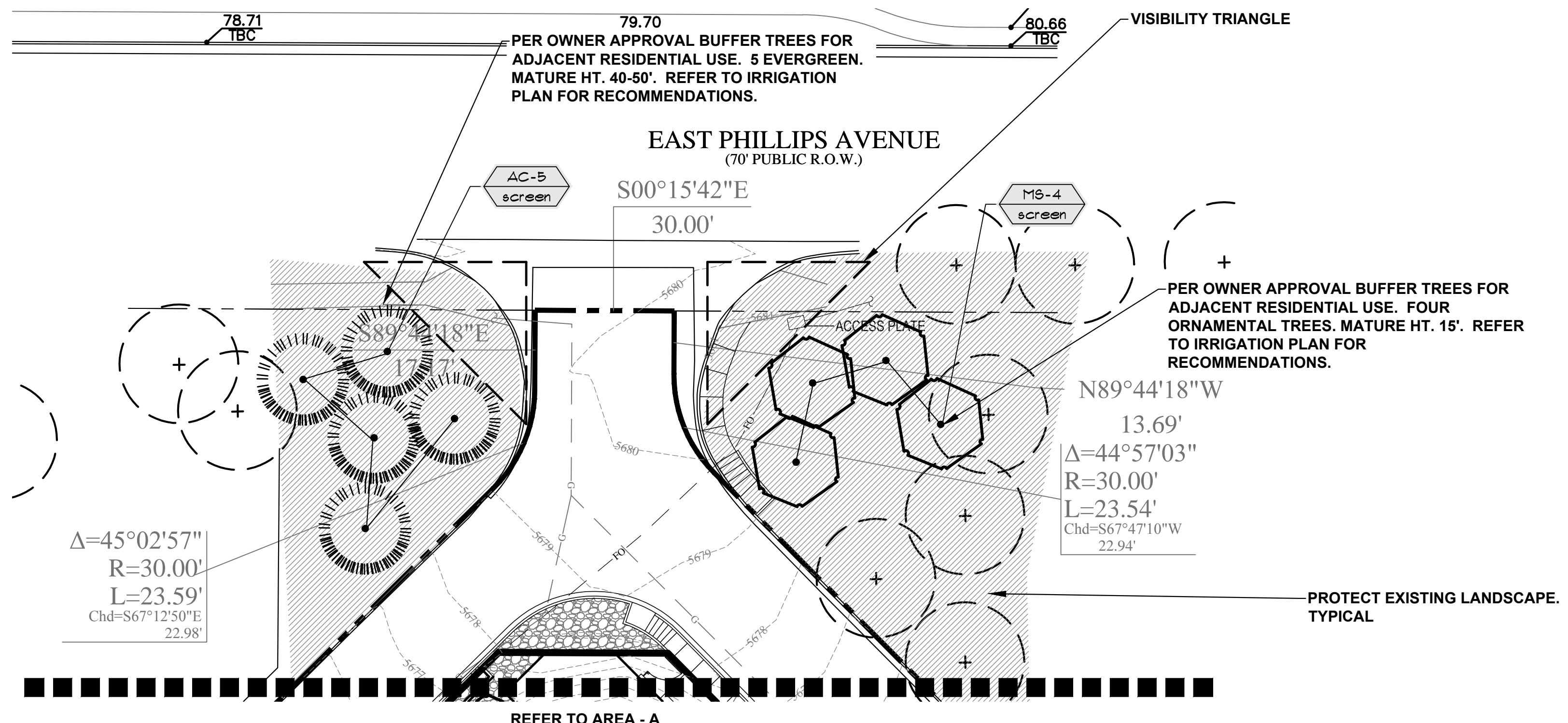
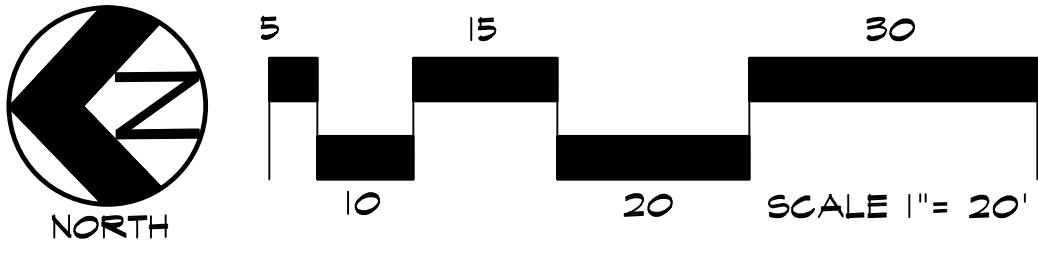




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LOT 5, BLOCK 1, SAFEWAY OAKBROOK SHOPPING CENTER  
CITY OF LITTLETON, ARAPAHOE COUNTY, STATE OF COLORADO  
CASE NO. ADP14-0002  
LANDSCAPE PLAN



LANDSCAPE PLAN - AREA B



LANDSCAPE PLAN  
AREA C

PLANT SYMBOL

- EVERGREEN TREE
- DECIDUOUS TREE
- ORNAMENTAL TREE

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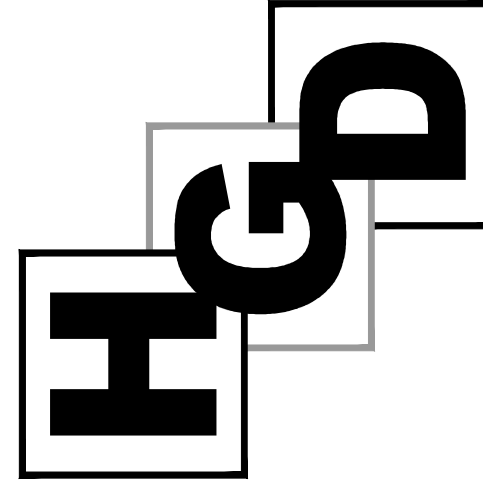
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		11 OF 11