

Littleton Village

ARCHITECTURAL AND URBAN | DESIGN STANDARDS AND GUIDELINES

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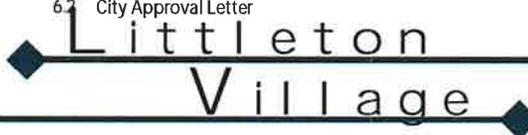
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1.0 Document use and Procedures

1.1 Purpose of this document

The Littleton Village Design Guidelines are intended to serve as an explanation of the intent of the uses, organization, design and quality of the improvements to be constructed on the property. An Architectural Control Committee (ACC) will use this document when reviewing future proposals for structures, landscape and other neighborhood elements. The function of the Design Guidelines is to give flexibility to the developer while ensuring basic standards in design and quality are met.

1.2 How to use this document

The Littleton Village Design Guidelines are organized into three categories:

- Intent, Standards and Guidelines - Outlines elements critical to the overall project vision and architecture
- Product Specific Standards - Outlines guidelines for specific structures within the various districts
- Signage - Outlines guidelines and standards for signage throughout the project

Each of the topics are then comprised of three major components that are to act as a guide for developers and designers through the process.

1.2.1 Design Intent

The intent statement provides big picture goal and objective establishing principles for the applicable design topic. In areas where there may not be a specific Standard or Guideline, the Intent statements are used to provide the design team and ACC with direction in resolving any questions or lack of clarity that the Conceptual Design Book does not address. These Intent statements should in themselves not be used as Standards or Guidelines.

1.2.2 Design Standards

Design Standards are prescriptive criteria that provide specific directions based on the Intent Statements. These Standards denote issues that are considered essential and will use the term "shall" to indicate that compliance is required.

1.2.3 Design Guidelines

Design Guidelines provide the designers with additional considerations and alternative ways to accomplish the Intent statements. The Guidelines are not mandatory criteria but considered a desire of the development. Guidelines use the term "should" or "may" to denote they are considered appropriate to accomplishing the Intent Statement.

1.3 Relationship of this document to the GPDP

This document supports the intent statements and general guidelines provided within the GPDP with more detailed requirements and standards. Any capitalized term not otherwise defined herein shall be as defined in the GPDP.

1.0 Document use and Procedures

1.4 Design Review Process

1.4.1 General Compliance

Littleton Village must comply with all applicable statutes, ordinances, rules and regulations promulgated by the City and other governmental entities which have jurisdiction over the project, including revocable permits in the right-of-way (ROW), Americans with Disabilities Act, building permits, and permits for other public works matters.

1.4.2 Applicability

All development within the Project is subject to the Littleton Village Design Guidelines. Design review shall be conducted by the Architectural Control Committee (ACC) as established by the Master Developer, the CC&R's, or the Metro District.

1.4.2 Objective

The objective of the design review process is to create a clear, consistent, and predictable process for the redevelopment of the Project as envisioned in the GPDP. The ACC shall simultaneously perform the design review along with the Site Plan Development Review Process required and conducted by the City of Littleton.

1.4.3 Submittal Requirements

The Applicant team shall meet with or submit to the ACC design documents at the following four key project phases: Pre-Application conference, Schematic Design, Design Development, and Final Recordation Phase. Informal design review meetings may be requested by the Applicant at any point in the development process as required to provide clear direction on specific issues.

1.4.3.1 Pre-Application Meeting

A pre-application meeting shall be held between the Applicant and the ACC to review the scope of the project, the design review process, and identify all requirements, presumptions and considerations. The Applicant shall submit at the pre-application meeting the following:

- Intent Statement
- Development scope, project uses and adjacent uses, and Project description
- Context Photos
- Conceptual Site Plan
- Any special considerations

1.4.3.2 Schematic Design (OPTIONAL)

The Applicant team may submit a Schematic Design Plan to the ACC. The ACC may request a meeting to discuss the application 10-15 days from the receipt of the Schematic Design Plan. At this meeting the Schematic Plan will be reviewed for compliance with the Design Standards and Guidelines. The applicant shall submit the following: Detailed narrative of how the Design Guidelines have been met.

- Site Plan
- Floor Plan
- Elevations

1.0 Document use and Procedures

1.4 Design Review Process cont.

1.4.3 Submittal Requirements Cont.

1.4.3.3 Design Development

The Applicant shall submit the following Design Development submittal, in addition to the other documents required for the Final Phase Site Plan submittal:

Reply to written ACC comments on the Schematic Design Plan with an updated detailed statement of how the Littleton Village Design Guidelines have been met.

- Site Plan
- Floor Plan
- Elevations
- Landscape/Streetscape plan
- Sections, if required by the City of Littleton Planning Department
- Façade details and treatments
- Materials schedule and sample board
- Renderings – optional

1.4.3.4 Approval

The Design Development submittal shall be reviewed and comments given by ACC within 10 business days after receipt of such submittal. ACC shall approve, recommend that the Applicant revise and resubmit or deny the submittal.

1.4.4 Modification of Design Standards

These Design Guidelines are intended to be flexible. The ACC may grant modification to a design standard if the ACC finds the applicant has satisfied the following:

- The modification is consistent with the stated intent of the design standard.
- The modification achieves or implements the stated intent to the same degree or better than strict compliance the design standard would achieve.
- The modification will not adversely affect the implementation of the GPDP and the modification will not create adverse impacts on adjacent developments.

1.0 Document use and Procedures

1.5 Amendment of Design Guidelines

The ACC shall be permitted to amend the text of these Design Standards and Guidelines at any time, in its sole and absolute discretion; provided, however, if the ACC elects to amend the text of any of the following provisions (each, a "Major Amendment"), such Major Amendment shall not be effective until the ACC obtains the consent of the City:

- (a) Section 1.1,1.2,1.3, 1.4 or 1.5 (Documents and Procedures)
- (b) 2.0 (Vision)
- (c) 3.1 (Districts)
- (d) Section 3.2 (Urban Structure and Massing)
- (e) Section 3.4 (Vehicular Access and Circulation)
- (f) Section 3.5 (Pedestrian Access and Circulation)
- (g) Section 3.6 (Views)
- (h) Section 3.7 (Streetscapes)
- (i) Section 3.8 (Public Spaces)
- (j) Section 3.9 (Building Mass and Scale)
- (j) Section 3.10 (Facades)
- (k) Section 3.17 (General Landscape Character)
- (l) Section 3.18 (Detention Areas/Water Quality)
- (m) Any amendments to setbacks, parking requirements or sections labeled "Design Intent" in Section 4.0
- (n) Section 5.0 (Signage).

1.5.1 Summary of Amendments

- | | |
|-------------------------|--|
| 09-09-2015:
reducing | This revision included minor revisions to section 4.1.8 regarding the interior side yard setback, from 4' to 3'. |
| 02-01-2016: | This revision included minor revisions to sections 3.10 Facades, 3.11 Building Transparency, and Section 3.19 Parking Lot Standards, adding provisions for variances upon ACC and Community Development Director Approval. |

2.0 Vision

2.0 Vision



The 77.15 acre former Marathon Oil site renamed Littleton Village is envisioned to be a community with a sense of place, an identity and a catalyst for bringing people together. Based on contemporary planning principles the village is designed to engage people and the neighborhoods in which they live. The design addresses the following precepts:

- A street network (grid) should facilitate smooth traffic flows. This framework should support any proposed use over time.
- The mix of uses within the project should complement one another as well as the existing community.
- Open space should support residences and people uses.
- The project should have great public spaces that support the neighborhood.
- The project should establish strong connections with existing neighbors as well as pedestrian and bike corridors.

Uses

This network of streets helps to create a blending of different uses which is represented also by the relationships to the adjacent properties. The area created between Broadway and Sherman St. defined at the Village Plaza district and is a commercial area. As Village Park Drive extends east towards Central Park there should be a mixed use corridor that acts as a buffer between the commercial character along Broadway and the residential character to the east. These spaces are further connected by Neighborhood Park and open spaces.

Open Spaces

All of these areas could be further connected by parks, open spaces & plazas such as the Central Park located between the mixed and residential uses. These spaces are envisioned to be usable, viable, adjacent and both passive & active to create quality neighborhoods. The East-West Linear neighborhood parks help provide visual connections and view corridors of the Front Range, helping to provide a community that is connected by these common elements.

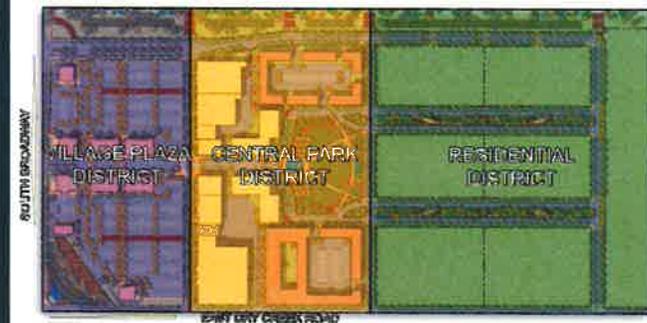
Master Developer, Developer or Owner, as applicable, shall be permitted to apply and utilize all of the gross acreage in Parcels 2B (3.181 acres), 6 (1.517 acres) and 9 (1.517 acres) in order to satisfy any open space requirement for single family residential within Tract II, as such open space requirements are set forth in this GPDP or in the Zoning Ordinance. Parcels K, M, N, P and Q shall be entitled to apply and utilize the gross acreage in Parcels 2B, 6 and 9 as follows:

Parcel K: 1.16 acres, Parcel M: 1.16 acres, Parcel N: .97 acres, Parcel Q: .97 acres and Parcel S: .97 acres

If and to the extent any of the gross acreage in Parcels 2B (3.181 acres), 6 (1.517 acres) and 9 (1.517 acres) is not applied and utilized for any particular Parcel up to the maximum allocations set forth above, such acreage may be transferred to another Parcel (other than Parcel T) within Tract II with written consent from the transferring Parcel owner.

Great Public Spaces

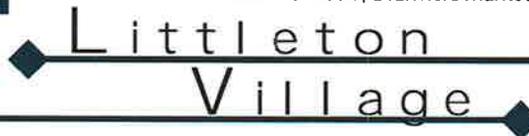
A principal emerges when one understands that when places are designed exclusively for cars, fewer people will walk. Too many cars on a street scare away pedestrians, while too few cars starve the retailers. Mixing of uses is needed to integrate the design of architecture and streets to regain the vigor of these public spaces. The neighborhood gives priority to the creation of public spaces and 4 the appropriate location of community activities. A central plaza could accommodate such events as "Western Welcome Week", a farmers market or school functions.



Districts Diagram



Public Spaces Diagram 1. Village Plaza 2. Central Park 3. Boulevard Parks 4. North Boundary Parks 5. Southwest Corner Entry 6. Landscape Buffer



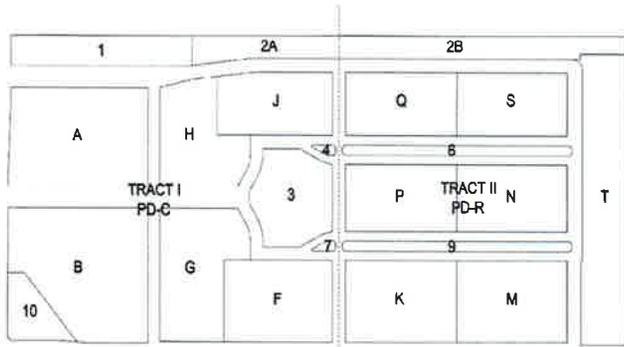
2.0 Vision

2.0 Vision cont.

Strong connections

The experience should be acceptable for driving but must be delightful for walking and bicycling. The multiple points of entry onto the site should connect and relate to the original street grid existing within the adjacent neighborhoods to allow for consistency and connectivity. Parks and Open Spaces enforce pedestrian corridors.

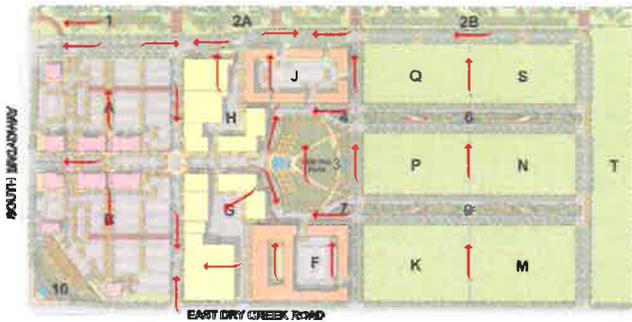
The site will be built in phases and evolve over time into a community which is integrated and open to new growth. Commercial square footage is projected to be 250,000 SF and the average residential density is projected to be from 12 to 16 dwelling units/acre. Littleton Village will help create and maintain a standard of quality that will sustain value while promoting a cohesive variety in the design and construction of individual projects.



Parcel Diagram



Street Network Diagram



Site Drainage Diagram

3.0 Intent, Standards and Guidelines

3.1 Districts



Village Plaza

The Village Plaza District blends smaller commercial uses centered on a lively, pedestrian friendly street. Single story retail buildings create a main street activated by shop fronts, angled parking, and plazas. With connection from both Broadway and Dry Creek, the Village Plaza District enjoys good visibility and easy access while creating a unique enclave of uses that benefits the Village Plaza District as a whole.

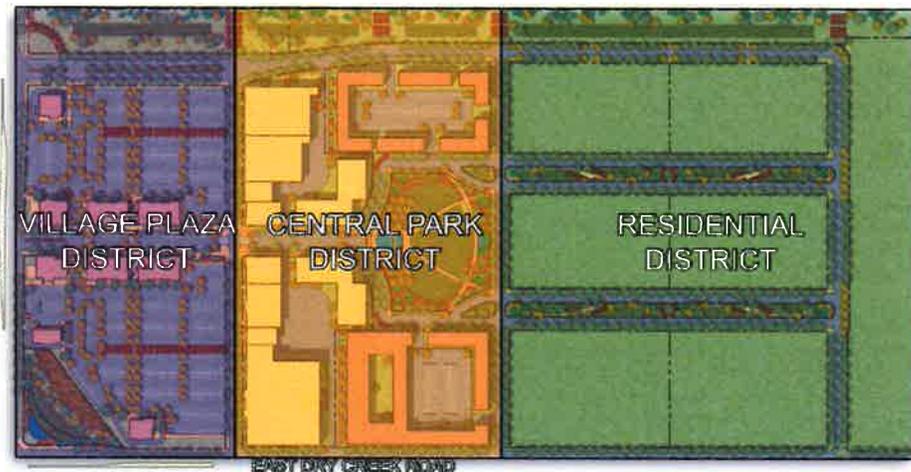
Central Park

Central Park uses strong open spaces and street connections to form a link from the Village Plaza District to the Residential District. The Residential District is interconnected with the Central Park by a series of landscaped boulevards and linear greenways. A palette of unique but varied housing types such as mixed use, greencourts, town homes, and detached homes all enjoy the connected open spaces, greenways and landscaped streets to create a pedestrian friendly environment.



Residential

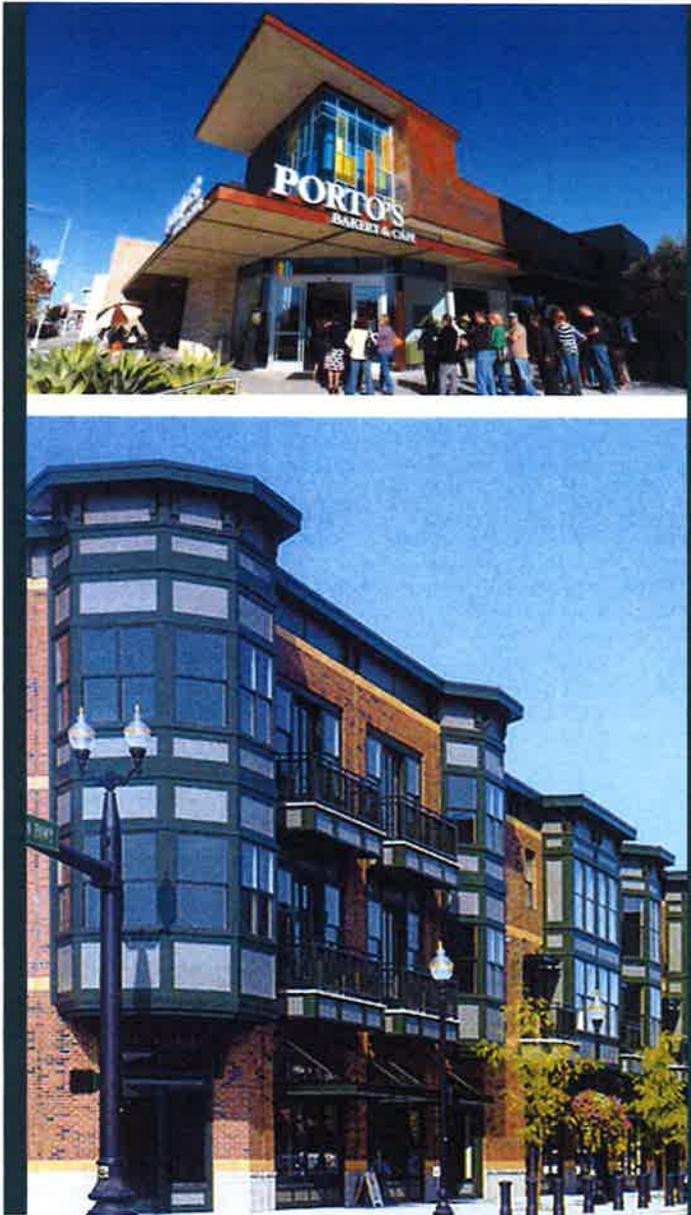
The Residential District is interconnected with the Central Park by a series of landscaped boulevards and linear greenways. A palette of unique but varied housing types such as greencourts, townhomes, and detached homes all enjoy the connected open spaces, greenways and landscaped streets to create a pedestrian friendly environment.



Districts Diagram

3.0 Intent, Standards and Guidelines

3.2 Urban Structure and Massing



Design Intent

- To encourage a pedestrian oriented environment with vibrant streets and to maximize synergies between residential uses, street life and successful businesses.
- Extend a local street grid into and through the Project.
- Create a block pattern that is appropriately scaled and compatible with the surrounding environment
- Create connections to the Public Right of Ways
- Create connections to existing neighborhoods and adjacent uses.

Design Standards

- New streets and connections into and through the Project shall create a smaller block pattern that has an appropriate size and scale to the development and surrounding neighborhoods
- Buildings shall be sited to create meaningful outdoor spaces. Streets, plazas and parks shall not be “left over” areas, but shall be well defined by buildings.
- All buildings shall present facades, access, and landscaping that reinforce the street and especially corners as the primary organizing element in the area.
- Designated view corridors shall be used as a standard for development with regards to building massing, locations and design.
- Primary building entrances whenever possible shall be oriented towards streets, parks, or pedestrian plazas.

Design Guidelines

- Block faces bounded by public or private streets should be developed with building wall and active uses to the maximum extent possible to create a pedestrian-friendly, walkable environment.
- Building mass and heights should be maximized in the Village Plaza and Central Park Districts and particularly adjacent to Central Park, taking advantage of the views and open space while respecting existing adjacent building heights.
- Heights and massing should be particularly reduced in areas directly adjacent to existing neighborhoods.

3.0 Intent, Standards and Guidelines

3.3 Streets

Design Intent

- Introduce a pattern, orientation and hierarchy that works to break up the Project into smaller more walkable blocks.
- Assure through internal streets that traffic is dispersed in an efficient way to provide ease of entry and exiting of the Project.
- Design and build streets that support a multi-modal environment, including vehicular, pedestrian and bicycle.
- Maintain the existing entries to the Project.

Design Standards

- Streets and roadways shall be developed to form adequate circulation and connectivity by the use of grid and/or modified grid patterns. Cul-de-sac streets and dead-ends shall be avoided as much as possible. Cul-de-sac streets are prohibited where pedestrian connections do not provide connectivity.
- Parking shall be incorporated along streets where applicable to provide front door parking.
- Internal streets shall include a pedestrian walking zone (sidewalk) and an Amenity Zone.
- Pedestrian walking zones shall be unobstructed and clear along all of the internal street and private zones.
- The amenity zone shall be a minimum of five (5') wide and shall contain streetscape elements, furnishings, at appropriate places and intervals, and street trees.
- Pedestrian walking zones shall be organized to create a continuity of walkable areas throughout the Project.
- The locations of trees shall be in the amenity zone combined with the street furnishing, lighting and other streetscape elements.
- Tree lawns shall be landscaped with street trees, ground covers, and or mulch, except where limited pavement may be necessary.
- Street trees shall be of an indigenous variety.
- The branching height of mature trees shall be a minimum of eight (8') feet in height for unobstructed sidewalk zones.

Design Guidelines

- Throughout the Project all internal streets should be visually cohesive through the use of similar or complimentary streetscape elements, hardscape treatments and planting.
- Private streets may provide a public easement to provide greater connectivity throughout Littleton Village. Where private streets are utilized, private street standards can be negotiated at Site Development Plan review process.
- Reduced street requirements such as building setbacks and tree-lawns may be approved if the street design provides pedestrian amenity zones, street trees in tree grates or tree lawns, and opportunities for transit, and does not have the appearance of a private drive through parking lots.
- Hierarchy of the street pattern should be developed to respond to the varied uses and classifications of roadway, but remain flexible to accommodate existing conditions and detailed design solutions.
- Specialty intersection treatments are encouraged to support pedestrian traffic.
- Paving outside and inside of the pedestrian walking zone may utilize a specialty paving system or pattern.
- Street trees should be selected to create a canopy at maturity.
- The streetscape treatments should be an element that provides continuity throughout the Project.



Street Network Diagram



3.0 Intent, Standards and Guidelines

3.4 Vehicular Access & Circulation



Design Intent

- Establish a clear hierarchy and network of streets, drives and access points that provide logical and safe routes for pedestrian, bicycle and vehicular traffic into the Project.
- Establish logical, safe and attractive connections to the surrounding developments.
- Provide clear entry points to the Project for vehicles, bicycles and pedestrians
- Promote safe and efficient movement of vehicles, pedestrians and bicycles in public and private circulation areas.
- Minimize conflicts between vehicles and pedestrians by limiting curb cuts along certain streets and building frontages.

Design Standards

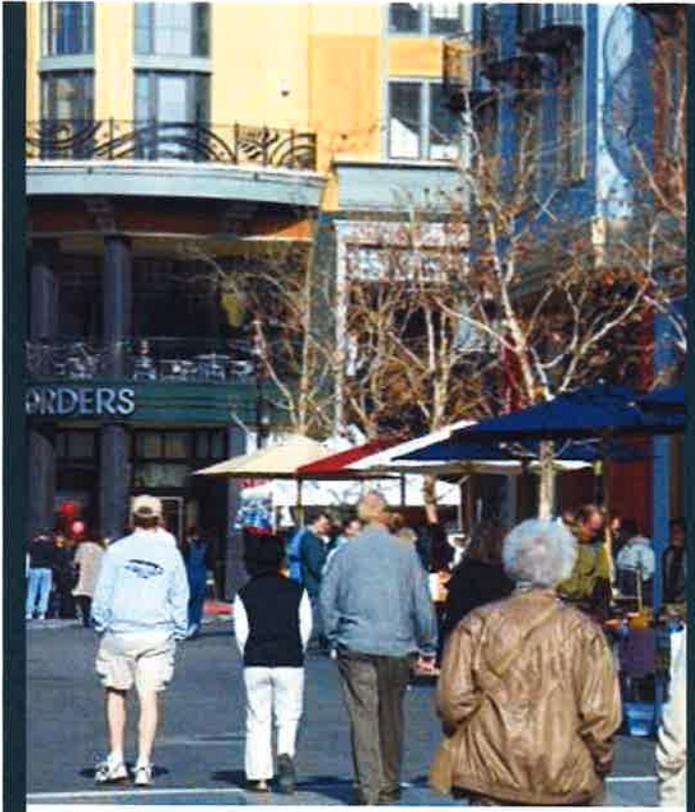
- All curb cuts and driveways shall be perpendicular to the street that each curb cut serves.
- Curb cuts shall not be allowed within 50 linear feet of the face of the curb of an intersecting street at a street corner.

Design Guidelines

- Curb cuts and driveways should be shared or common between multiple buildings or lots.
- A single curb cut should not be wider than the minimum width required by the Department of Public Works.
- One way traffic should be avoided to maintain flexibility in traffic patterns throughout the Project.
- Drop-offs serving entrance of specific users such as hotels or apartment buildings may be allowed but should be designed in a sensitive manner.
- Streets should be designed as narrow as possible to create a slower moving vehicular environment, while accommodating emergency vehicles, expected traffic and turning movements.
- As much as possible, streets should be designed to accommodate on-street parking.
- Curb radii should be as small as possible at street corners in order to reduce pedestrian crossing distances.
- Landscape islands with pedestrian walkways may be incorporated at street intersections, amenity spaces, or buildings entrances.
- Driveways and curb cuts may vary from the perpendicular given such circumstances as adjusting between a curving street and orthogonally located building.

3.0 Intent, Standards and Guidelines

3.5 Pedestrian Access & Circulation



Design Intent

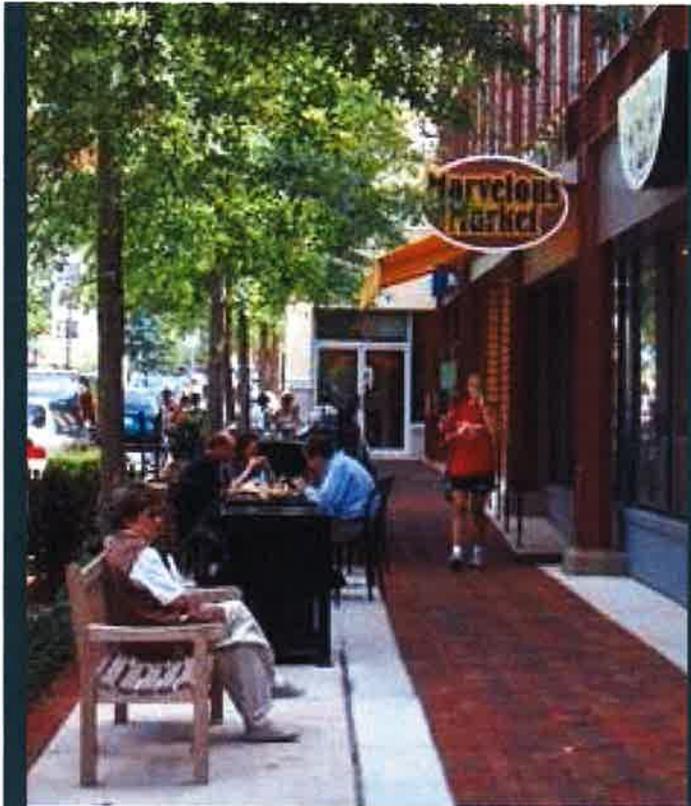
- Establish a pedestrian network that is interconnected, both on-street and off-street, that provides convenient access to users and provides clear orientation.
- Encourage pedestrian and bicyclist access to the Project and safe and convenient circulation throughout the Project.
- Provide direct and comfortable pedestrian connections between primary uses and publicly accessible open space and plazas within the Project.
- Create an inviting environment that has clear circulation paths from parking areas to building entries.
- Create a hierarchy of pedestrian amenities within the street ROWs and the adjoining block patterns.
- Make effective connections to off-site pedestrian and regional systems.
- Provide clear paths of travel for bicyclist, pedestrians, and vehicles that has a clear separation.
- Provide clear entry points to the Project for vehicles, bicycles, and pedestrians.
- Promote safe and efficient movement of vehicles, pedestrians, and bicycles in public and private circulation areas.

Design Standards

- An on-site system of pedestrian sidewalks and walkways shall be provided and designed to provide direct access to and between the following:
 - Primary entrances to each primary building. All surface parking areas or parking structures.
 - Site amenities or publicly accessible open spaces.
- On-site sidewalks shall provide direct connections to the external sidewalk grid and link Littleton Village to regional south suburban trails & to local parks & schools.
- All pedestrian walkways shall provide not less than five (5') feet clear walking area. In areas where the walkway abuts a parking area an additional two (2') feet of (unpaved) width shall be added to accommodate vehicular overhangs.
- All perimeter pedestrian walkways shall provide not less than six (6') feet of clear walking areas.
- Walkways must be clear of low branches, vegetation and similar impediments.
- Where walkways occur along a building facade, the required walkway must be clear of door swings, exterior display areas, shopping cart storage, and similar impediments.
- Pedestrian access points and sidewalks shall be kept separate from vehicular drive lanes to the maximum extent possible.
- Street sections shall provide separated walk with tree lawn in the residential areas or generous attached walks with street tree plantings along Village Park Drive.
- Areas within the Project where the pedestrian walkway system crosses a parking area or internal street, the walkway shall be clearly differentiated through striping or a change in material.
- Vehicular access shall be designed to minimize any conflicts between primary pedestrian or bicycle access to the Project, and with pedestrian and bicyclist circulation within the Project.
- Detached sidewalks with tree lawns (which may include street trees) or attached sidewalks with amenity zones (which may include street trees in cut-outs) between the curb and walking zone shall be provided on major pedestrian streets.
- Pedestrian corridors shall be provided through a combination of on-street sidewalks, open spaces and internal pedestrian plazas that tie developments to each other.
- Primary pedestrian walkways shall be located within open spaces and on Village Park Drive, with connections to pedestrian trails off property provided at intersections on main roads.

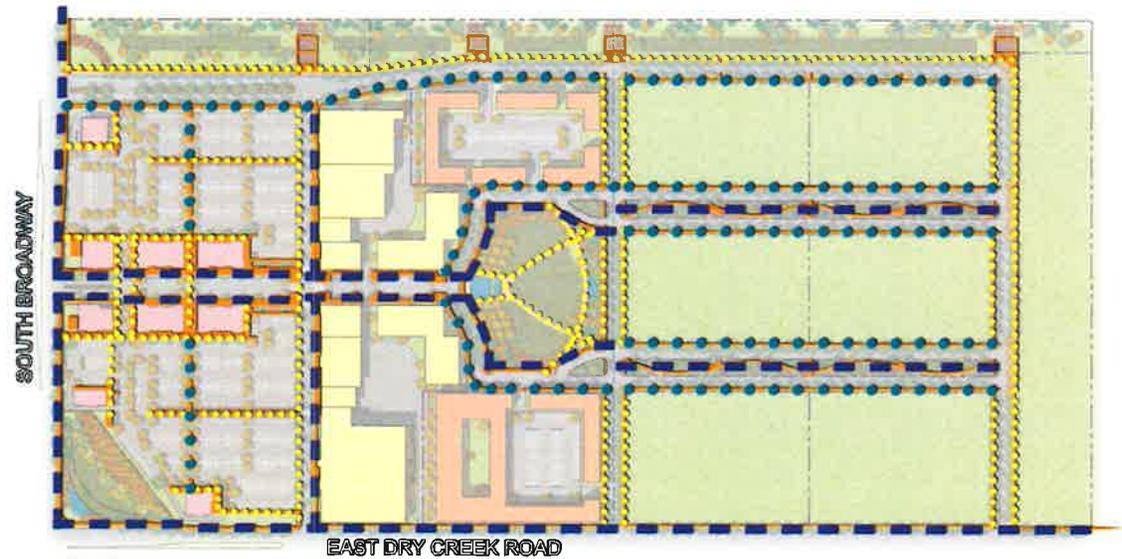
3.0 Intent, Standards and Guidelines

3.5 Pedestrian Access & Circulation cont.



Design Guidelines

- Pedestrian lighting should be provided on streets that are considered major pedestrian environments.
- Variations from regularly spaced or otherwise consistent streetscape elements (including street trees) may be provided where special conditions occur.
- Curb cuts should be discouraged close to intersections and pedestrian crossings should be located a safe distance from curb cuts.
- The number of curb cuts should be minimized to the extent possible and be shared between uses and parking areas.
- Drop off areas for specific uses such as apartment buildings and residential areas may be allowed if deemed appropriate and not in conflict with the general pedestrian and vehicular traffic patterns.
- Sidewalks of various widths should be connected to each other with a smooth transition and not a 90 degree angle.
- Raised pedestrian walkways across drive lanes should be avoided to allow for easier maintenance of parking lots and drives.
- As a result of the street network and scale of development, the whole of Littleton Village's design should be very walkable and encourages strolling and biking.



- PRIMARY PEDESTRIAN WAY
 - SECONDARY PEDESTRIAN WAY
 - INTERNAL PEDESTRIAN WAY
- Pedestrian Circulation Diagram

Littleton
Village

3.0 Intent, Standards and Guidelines

3.6 Views

Design Intent

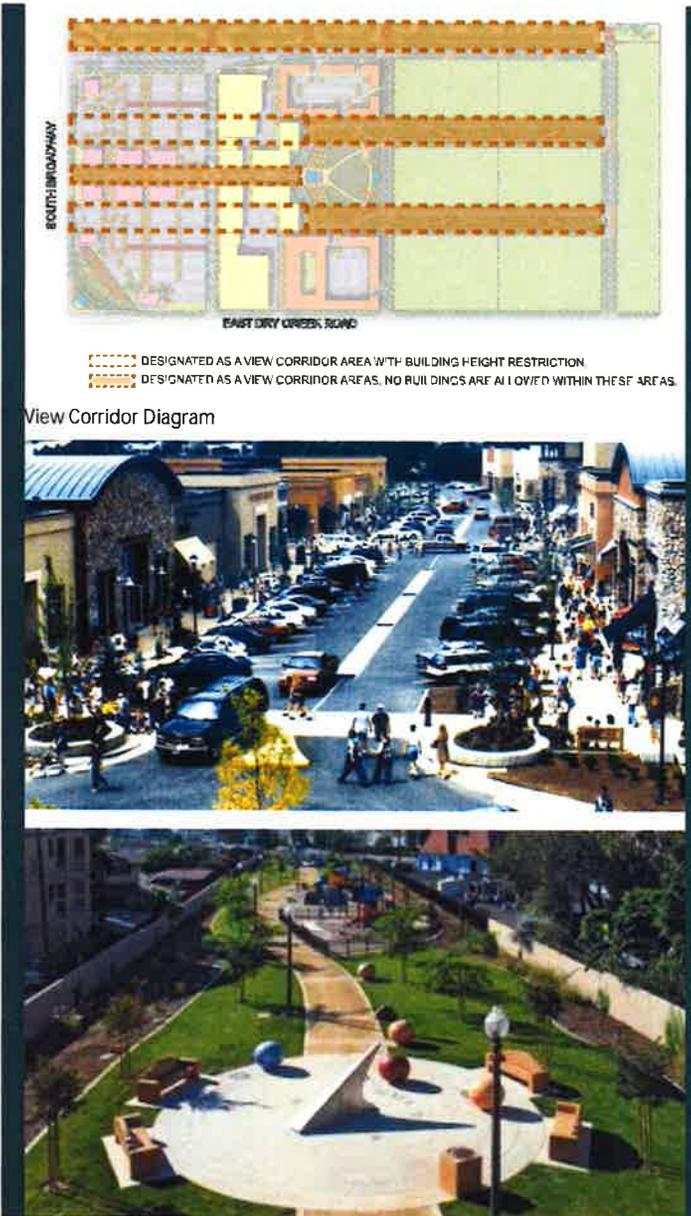
- Enhance the pedestrian environment by taking advantage of public views into and across the Project along planned new streets and drives to create high-impact, visual "markers" that identify the Project for the public.

Design Standards

- Framed views to the west from the Project within the designated areas shall be maintained. These views are crucial in defining the character and identity of the Littleton Village Project from public spaces. These corridors are illustrated in the diagram to the left and within sheet 06 of the Major Amendment and sheet 04 of the Minor Amendment to the Littleton Village GPDP.
- The Village Park Drive view corridor shall be maintained by restricting tree growth along Village Park Drive. Trees will be allowed along the street.
- The Boulevard Parks (Parcels 4, 6, 7 & 9) shall be oriented to accentuate the framed views to the west.
- The views within the North Boundary Park (Parcels 1 & 2) shall be maintained by the restriction of built structures.
- Tree planting shall accentuate the framed view while providing for recreation areas and detention features.

Design Guidelines

- The Boulevard Parks tree planting should accentuate the framed view while providing for recreation areas and detention features. The areas within the view plane described within sheet 06 of the Major Amendment and sheet 04 of the Minor Amendment to the Littleton Village GPDP define building height restrictions west of the Boulevard Parks.



3.0 Intent, Standards and Guidelines

3.7 Streetscapes

3.7.1 Village Plaza Streetscapes

Responding to the mixed use development, the character of the Village Plaza Streetscapes feature generous footpaths and tree wells as well as on-street parking. Minimized setbacks bring the retail entries forward, again enhancing the urban street character. The streetscape along Village Park Drive reflects the pedestrian activity anticipated along the corridor with generous sidewalks and street trees shading the walk and parked cars. Frequent intersections, on-street parking and more narrow drive lanes all serve to slow traffic speeds.

3.7.2 Central Park Streetscapes

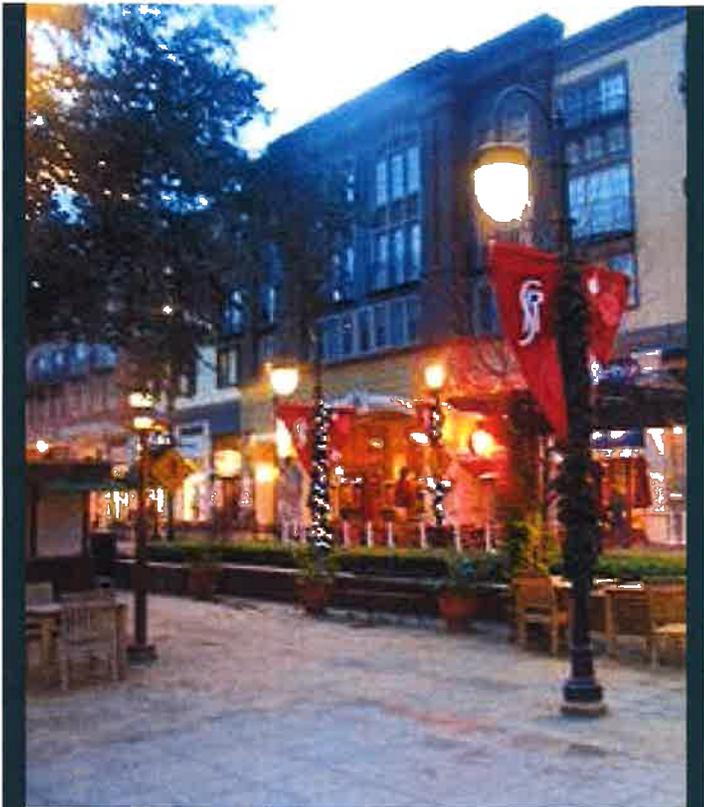
Responding to the urban residential densities as well as the signature open space qualities, the character of the Central Park Streetscapes feature generous footpaths and tree lawns as well as on-street parking. Minimized setbacks bring the residential entries forward, again enhancing the urban residential feel.

3.7.3 Residential Streetscapes

Consistent tree lawns and sidewalks, along with the architecture forward character of the proposed residential products, contribute to the residential feel of the Residential District streets. On street parking may serve to slow traffic and adds convenience to Residential District living.

3.7.4 South Broadway Streetscapes

The South Broadway frontage of the project is the primary public interface of the project and should be designed in a manner that is consistent with not only the GPDP, but the surrounding context. The South Broadway streetscape should offer large sidewalks that can accommodate both pedestrian and bicycle traffic. The walking zone should provide a safe and secure means of traveling the corridor along a major arterial. Minimized setbacks bring the retail and pad buildings closer to the street edge to assist in defining the Village Plaza District. Parking areas should be appropriately screened from view, and eliminate the distraction of vehicular lights projecting into South Broadway.



3.0 Intent, Standards and Guidelines

3.7 Streetscapes cont.



Street Network Diagram



Design Intent

- Create a streetscape that promotes overall pedestrian and bicycle circulation.
- Encourage pedestrian activity on the sidewalk and to support adjacent activities such as shopping, dining, strolling and gathering.
- Provide connectivity to the surrounding neighborhoods and developments.
- Unify the public right-of-way with a unique character by using street furniture, street trees, and other amenities within the Project.

Design Standards

- Trees must be provided within a required amenity zone and/or tree lawn at equal spacing by species, with minor adjustments for existing conditions, light spacing or species impacts.
- Average tree spacing shall be no greater than 40-feet on center.
- Street lights shall be placed in an orderly fashion to define the edge of the pedestrian zone.
- Pedestrian lights along pedestrian ways and in primarily pedestrian areas shall be no higher than 14' from the light to the ground. Parking lot lights shall be a maximum of 25' in height.
- All lighting shall be downcast creating no spill-over and conform to the City of Littleton's Municipal Code.
- Bus stops shall be weather protected with shelters and shall meet RTD and ADA standard guidelines and specifications. Where appropriate, concrete bus pads will be provided in roadways.
- Along all streets, except within Village Park Drive, sidewalks with street trees in tree lawns shall be provided.
- Street Tree Species: Street trees selected for streetscape shall be strong wooded and able to endure pollution, compacted soils, minimal water and low maintenance and shall be an approved street tree per City standards. (See street tree planting diagram page 17).
- Caliper: Street trees in tree lawns shall be a minimum of 2.5 inch caliper at time of planting. Larger trees are encouraged at key locations.

Design Guidelines

- Streets should be landscaped with a planting of deciduous trees to create a tree canopy at maturity and a cohesive, unified character throughout the Project.
- A monoculture of the same tree species should be avoided.
- Streets should be visually consistent and should have a cohesive rhythm created by street trees furnishings, paving, and lighting.
- Street furnishings, trees and amenities should occupy consistent, well defined zones parallel to the pedestrian walking zone.
- Sidewalk uses, outdoor seating, street-carts and vendors are subject to compliance with all applicable City laws and regulations, and should be encouraged outside of the pedestrian walking zone.
- The tree lawn may be interrupted with pockets of planting to provide visual interest.
- Within the Village Plaza District, screening, lush landscaping, logical navigation and the continued importance of the pedestrian are all design considerations for any parking lot or structure on the site. All parking designs are subject to review by the ACC.

3.0 Intent, Standards and Guidelines

3.7 Streetscapes cont. - Tree Planting



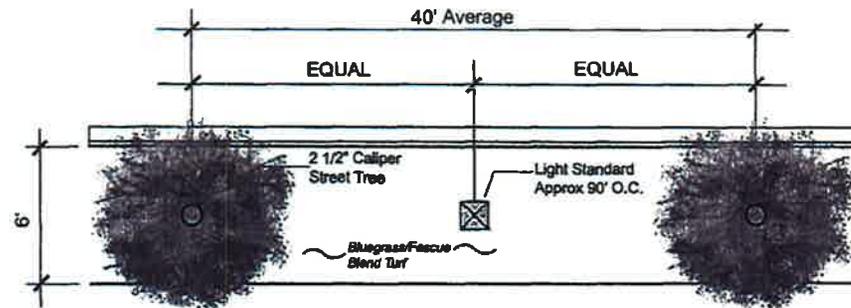
Design Intent

- The intent of the street tree planting palette for Littleton Village is to create identity for each individual District within Littleton Village as well as to add to the overall sense of community.
- The overall intent of the Littleton Village tree planting palette is to create identity of the districts within Littleton Village as well as forming a landscape fabric which has year round color, diversity and character.
- The park plantings are intended to create a variety of landscape experiences within the boundary parks and boulevard parks.

Design Standards

- Within the Central Park there shall be a great lawn bordered by sustainable meadows of native grasses littered with cottonwoods. The Central Park also contains a intimate gardenesque courtyard framed by flowering ornamentals and a belvedere with views of the front range to the west. Broad play lawns defined by stands of canopy trees and evergreens allow for active recreation opportunities.
- The drainage areas located at various locations throughout the site shall be sustainable landscapes. These wet meadows shall be composed of a mixture of grasses native to the western plains which perform water quality duties for the run off from adjacent uses.
- The native grasses shall be buttressed by plantings of swamp white oaks, varieties of cottonwoods and pines.
- Community entries are accented with species of flowering ornamentals with backdrops of evergreens.
- Retail streets shall be planted with lacy locust trees that filter sunlight in the summers and are tolerant of the demands of urban environment.
- East/West streets which carry the majority of pedestrian traffic across the site from the neighborhoods through the boulevards and parks to the retail streets shall be planted with species of ash and maples.
- The North/South streets shall be lined with stately varieties of oaks and lustrous species of lindens. The North boundary area reflects a more native and sustainable landscape populated by varieties of cottonwood, oak and pine underlain with a carpet of native and ornamental grasses which perform water quality as well creating a wet meadow of seasonal color.
- Along with the entry plantings, the perimeter landscape defines the character and first impressions of Littleton Village. The perimeter landscape is designed to transition with the character of the surrounding neighborhoods.

Street Tree Planting Diagram



Littleton
Village

3.0 Intent, Standards and Guidelines

3.8 Public Spaces

3.8.1 The Village Plaza

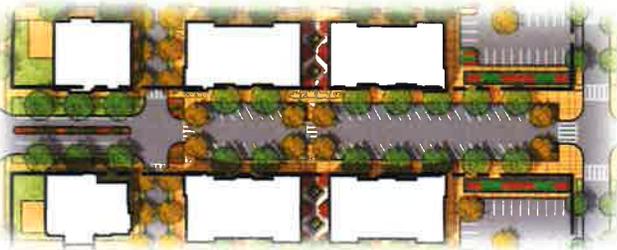
The Village Plaza serves as a primary connection along the Village Plaza retail corridor to Central Park. The Village Plaza District provides a venue for special events to be hosted in the streets, which can be closed temporarily to create a pedestrian mall. Markets, concerts and festivals fill the space with people on special occasions while residents and visitors enjoy shopping, dining and strolling daily. The Village Plaza represents a central outdoor activity area within Littleton Village. Oriented towards passive activities such as dining, strolling or taking part in outdoor festivals or markets, the Village Plaza introduces an urban streetscape that creates a main street.

The Village Plaza shall provide opportunities for public gatherings and may include a public art and water feature(s), informal planting areas, formal planting areas, lawn areas, informal picnic areas, public art, hardscape areas, and seating. Activities encouraged in the Village Plaza are informal public gatherings, small outdoor musical and arts events, and scheduled farmers' markets. Other temporary retail events in the Plaza shall be subject to the approval of the Board of the applicable metropolitan district or Owner's Association.

3.8.2 Central Park

A great lawn with a variety of amenities and dramatic views of the Front Range provide the residents of Littleton Village and its surrounding neighborhoods with a variety of recreational opportunities in a beautiful setting. The Central Park is surrounded by a multitude of residential housing as well as some commercial space which helps to form this, the primary open space within Littleton Village.

Activities and Drainage: The roughly 3.5 acre park will be designed to encourage both active and passive uses. Flexible use lawn areas, play grounds, multi-use trails and planting areas create a rich open space texture in the heart of Littleton Village. Located near the Village Plaza, but surrounded by residential and lower intensity commercial uses, Central Park encourages a variety of recreational activities. Some detention areas may be planned for the park, with open fields which are slightly depressed handling the majority of the drainage needs but having little impact on the usability of the site as a result of conscientious design.



3.0 Intent, Standards and Guidelines

3.8 Public Spaces cont.

3.8.3 Boulevard Parks

The landscape boulevards function as pedestrian greenways which interconnect the residential neighborhoods with the Central Park. The landscape combines recreational opportunities with environmental sustainability. Native grass plantings create organic filters that provide water quality for runoff from surrounding neighborhoods while multiuse pathways and linear lawns accommodate active recreational opportunities. Parcels 4, 6, 7 and 9, as shown in the GDPD, shall be designated as Boulevard parks.

Neighborhood parks shall provide flexible recreation opportunities that meet neighborhood needs and accommodate multiple purposes. A combination of features should be included such as: formal and informal planting areas, lawn areas, play areas, informal areas, & seating.

Some storm water detention may be handled in each open boulevard park. Detention facilities will be integrated into the space and will not adversely affect the overall usability of the parks.

Activities & Drainage: Three components of the Boulevard Parks encourage active use of the open space areas: multi-use trails, open turf areas and natural planted areas. Trails and turf areas allow for the most active recreational opportunities including walking and running. Within the Boulevard Park, a variety of tree plantings should be used to maintain the view corridor throughout the year.

3.8.4 North Boundary Parks

The North Boundary Park is a multi-functional landscape: the open space not only provides a landscape transition to the existing neighbors but also creates a sense of an extruded front yard for the homes bordering to it.

The park includes a multi-use trail while the native plantings serve as a sustainable environmental filter providing water quality for Littleton Village.

Activities & Drainage: Representing the majority of on-site storm water detention and drainage, the natural areas of the North Boundary Park create an attractive buffer between existing development and Littleton Village.

Areas of turf will be provided in varying widths and sizes to allow for a range of activities. Multi-use trails, nature trails, intimate seating areas and open lawn are all planned components of the major open space on the north boundary of the site. As stated, the majority of the storm water drainage burden will be handled within the North Boundary park for reasons of topography and efficiency. Within the North Boundary Park dense plantings should be used to screen the neighborhood to north.

3.0 Intent, Standards and Guidelines

3.8 Public Spaces cont.

3.8.5 Southwest Entry Plaza Monument

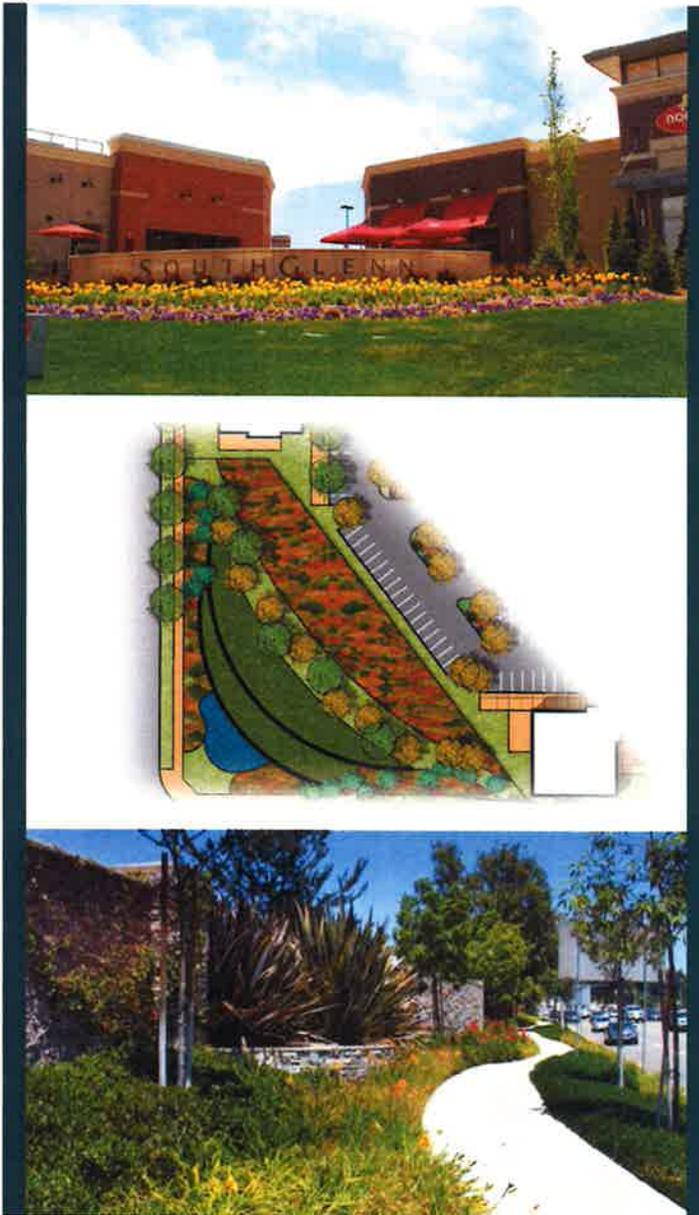
As an important gateway feature for both Littleton Village and the City of Littleton, the intersection of Broadway and Dry Creek demands special treatment; a significant statement incorporating the forms and materials representing both the City and the site. Connecting the primary crossroads will be a small pedestrian plaza with walks leading along the arterial roads as well as into the heart of the development. A backdrop of stone, that integrates a dramatic setting for a unique iconic feature and signage element. Landscape compliments the design, assisting the integration of the monument in the site.

Activities & Drainage: Integrated into the design of the landmark corner is a water quality area serving the potential parking area to the Northeast. Landscape and stone features help to both screen and blend the functional aspect into the feature.

3.8.6 Perimeter Landscape

The intention of the perimeter landscape is to both highlight and blend in to the existing streetscape character. Tree lawns with generous sidewalks promote pedestrian activity while continuing the landscape character of the area.

Activities & Drainage: The perimeter landscape serves as a pedestrian zone, providing connections along arterial roads or completing a circuit around the perimeter of the site. Water quality may occur on planting surfaces, but a minimum amount of detention is anticipated for these areas.



3.0 Intent, Standards and Guidelines

3.8.7 Public Spaces cont. - General



Design Intent

- The public spaces of Littleton Village contribute to the character and livability of the community throughout Littleton Village as well as a broad range of recreational opportunities.
- Provide open spaces such as parks, plazas, and courtyards to provide a variation of passive and active open spaces throughout the Project.
- To introduce elements of nature into the urban environment.
- Create opportunities for community interaction that can accommodate high levels of pedestrian use.
- Ensure that building facades that define plazas and courtyards are integrated as part of the space design.
- Ensure that plazas are designed as distinct spaces within the environment.
- Maximize the opportunities for people to utilize plazas and open spaces.
- Encourage socialization, congregation and interaction.
- Ensure that there are ample trash and recycling containers to prevent litter and debris.
- Allow public access to restrooms and other facilities

Design Standards

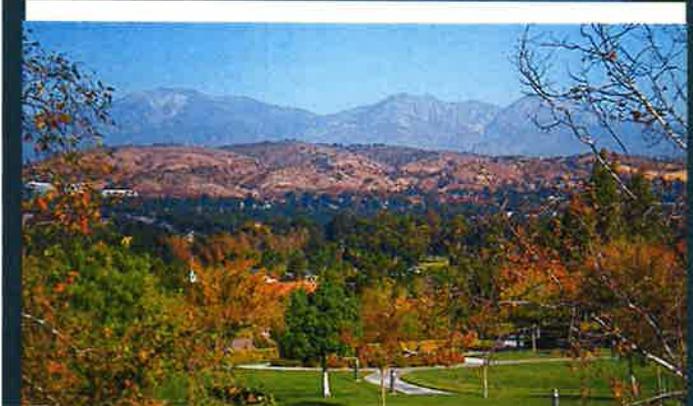
- All open space and plaza areas shall be unenclosed and open to the sky, and at the owner's discretion areas may be decorated with ornamental lights, seasonal decorations and shading devices that may be installed and hung across the width of the space.
- In buildings that abut public open spaces, ground floor uses shall work to activate the open space/plaza throughout the day.
- All open space landscaped with a combination of plant materials and hardscape shall provide a variety of amenities for their users and shall include the following:
 - Irrigation systems shall be provided for all live material.
 - Separate trash and recycling receptacles shall be provided.

Design Guidelines

- Open space should be oriented to take advantage of views and solar orientation.
- Ease of maintenance should be taken into account of plazas and publicly accessible courtyards and sidewalks.
- Spaces should use a variety of landscape and architectural elements to create a strong sense of place, enclosure and security.
- Materials for the paving may be blended into the pedestrian walkway to provide continuity along the sidewalks they serve as a unifying element that may bind the open space/plaza area to the street.
- Building walls that abut or adjoin a plaza or open space should have special design consideration in order to prevent an uninviting pedestrian experience.
- Seating should be designed that does not hold water and debris.
- Above-ground utilities or services, including, but not limited to, utility boxes, gas meters, or commercial dumpsters should not be located within publicly accessible open spaces and plazas. If this is not possible special consideration should be given to screening from the public view.
- Indigenous shade trees should be provided near seating areas.

3.0 Intent, Standards and Guidelines

3.8.8 Public Spaces - Parks



Design Intent

- Provide spaces that are open to the public, and are of adequate size, configuration and proportion to serve a variety of active and passive needs.
- Introduce substantial amounts of vegetation into the urban environment.
- Provide organizing space for groups of buildings.
- Provide areas of shade, sun and wind protection.

Design Standards

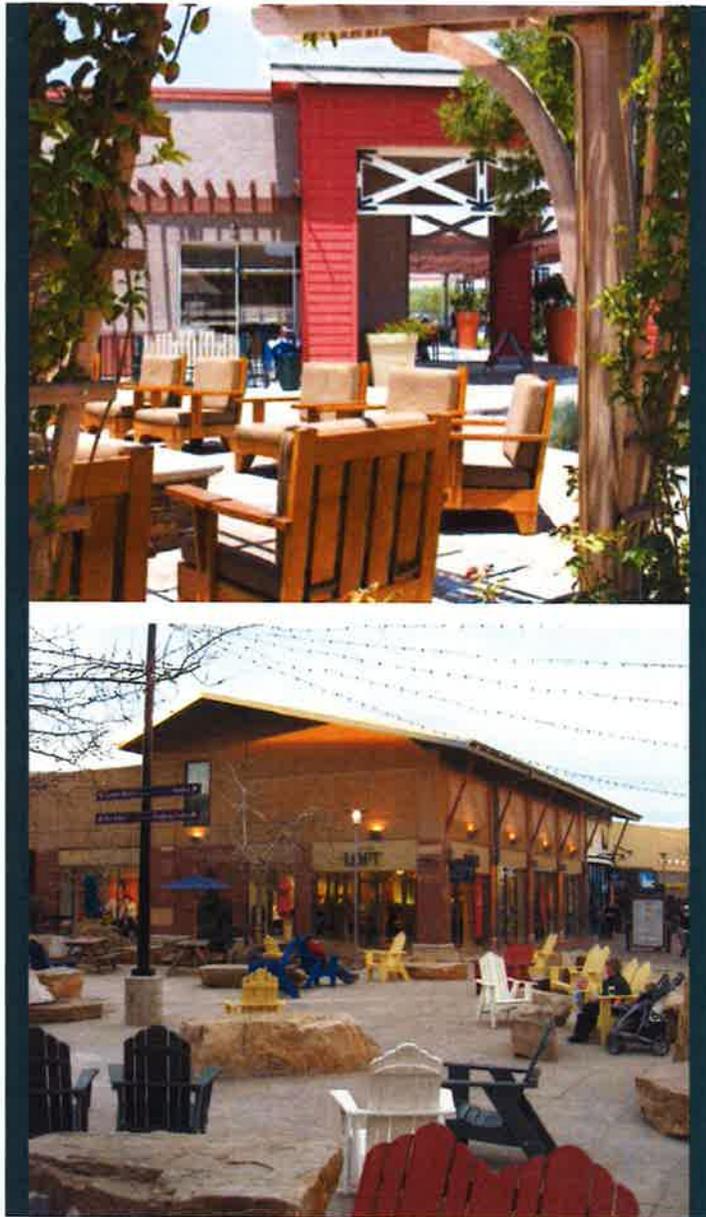
- Parks shall be easily viewed and accessible.
- Where grade changes or other obstructions need to be accommodated in a park, no such grade changes or obstructions may be higher or lower than 3' above or below the sidewalk. Wherever possible, walls and retaining walls defining or containing such grade changes shall be at seating height.
- A minimum of one lineal foot of seating for every 1000 square feet of park area shall be provided for seating in all parks. Seating may include benches, movable chairs and seat walls no higher than 30 inches and no less than 12 inches wide. Seating 30 inches wide or more may count double providing there is access on both sides.
- At least 30% of the park's surface shall be turf grass or a low growing and stable ground cover capable of supporting foot traffic. All ground cover shall be ADA accessible.

Design Guidelines

- Landscaping and or turf that can accommodate pedestrian use should be considered as the primary surface treatment, with paving/hardscape as secondary surface treatments.
- Deciduous shade trees should be provided near seating areas.
- Trash receptacles should not be placed immediately adjacent to benches or limited seating areas.
- Pedestrian lighting should be extended through parks to form part of a continuous system for the pedestrian.
- Park standards may be modified by the ACC for special conditions, configurations, functions or size.
- Parking area may be incorporated into park areas, but should be minimized to minimize impact. Parking areas must meet all guidelines in Section 3.19 Parking Lot Standards.

3.0 Intent, Standards and Guidelines

3.8.9 Public Spaces - Plazas



Design Intent

- Provide spaces that are open and inviting to the public, which serve as areas for relaxation and community interaction, and create variety and interest in the public realm.
- Introduce elements of nature into the urban environment.
- Allow for spaces adjacent to building and public right-of-ways that can accommodate special amenities such as café seating, sculptures, water features, and planters.
- Provide organizing space for groups of buildings.
- Design spaces that can accommodate high levels of pedestrian use.

Design Standards

- Each plaza shall provide at least one (1) tree for every 5000 square feet of plaza area.
- A minimum of 30% of the areas of a plaza shall be composed of planting materials (grass, ground covers, planting beds, etc.)
- Irrigation systems shall be provided for all live material.
- Separate Trash and recycling receptacles shall be provided.

Design Guidelines

- Paving/hardscape should be considered as the primary surface treatment, with landscaping and or turf as secondary surface treatments.
- Deciduous shade trees should be provided near seating areas.
- Trash receptacles should not be placed immediately adjacent to benches or other seating areas.
- Other amenities, such as water features, public art, power outlets, and drinking fountains, should be incorporated into a plaza.
- Plaza standards may be modified by the ACC for special plaza conditions, configurations, functions or size.
- Other amenities, such as water features, public art, power outlets, and drinking fountains should be incorporated into a plaza.

3.0 Intent, Standards and Guidelines

3.8.10 Public Spaces - Public Art



Design Intent

- The intention of public art implemented throughout Littleton Village is to help support the visual beauty of the site, complement the design of structures and streetscape through art, express the community culture and life through permanent visual fixtures, and to provide visually rich experiences that create opportunity for surprise, humor, reflection, contemplation and play.

Design Standards

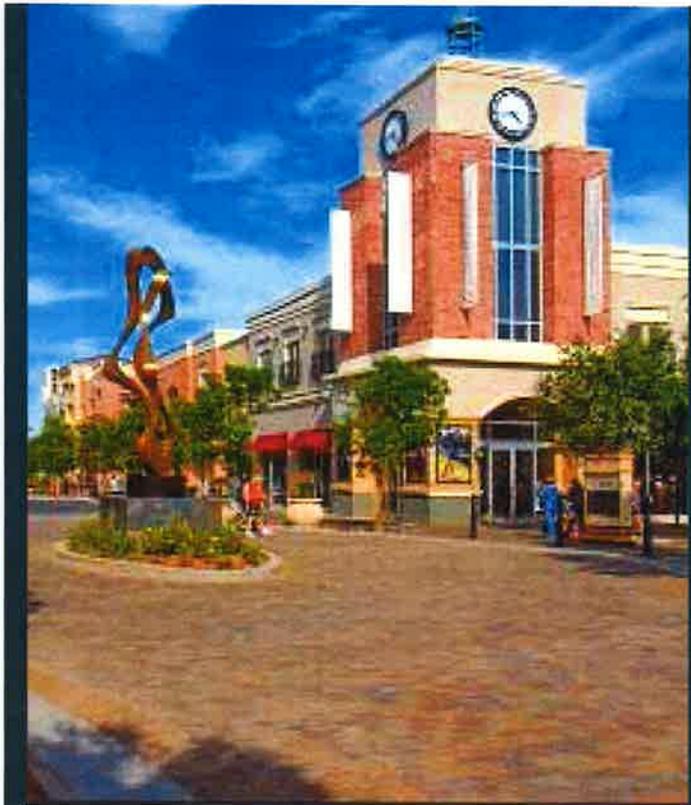
- Works that are commissioned must be built of the highest craftsmanship and design and must be made of durable, low maintenance, vandal proof materials.

Design Guidelines

- Art in Littleton Village should be sited in areas that create a greater visual interest within the urban fabric and support the social function of each space.
- Artwork can include historical, community and local natural references.
- Interactivity of the artwork should be important aspects to allow the community to sit, play, walk through or otherwise physically interact with a finished piece.
- When appropriate, artwork should be integrated with the overall urban fabric (i.e. site furniture, tree grates, landscaping elements, building facades, wayfinding, etc.)
- Art is encouraged in street right-of-way medians so long as the commissioned piece does not conflict with safety regulations or sight line guidelines.

3.0 Intent, Standards and Guidelines

3.8.11 Public Spaces - Vista Terminating Elements



Design Intent

- Additional terminating features should be added to buildings where reinforcement of the urban fabric is possible. Special consideration should be used where alignment occurs with the boulevard parks and in other locations in order to maintain the desired view corridors.

Design Standards

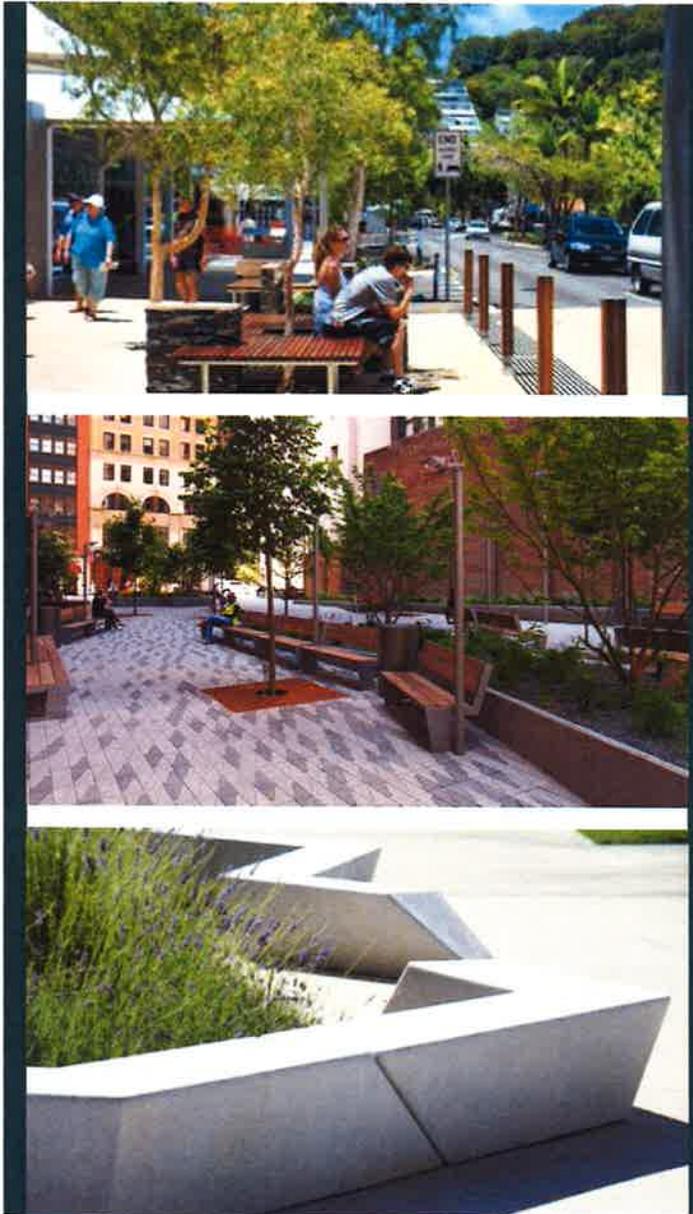
- Non-occupied portions of the terminating element may exceed the maximum building height by 25' subject to S.D.P. approval during the Site Development Plan review process.

Design Guidelines

- A vista terminating element such as a tower or similar architectural feature should be encouraged into the design for a building located along Village Plaza Drive, preferably within Parcel G or H.

3.0 Intent, Standards and Guidelines

3.8.12 Public Spaces - Street Furnishings



Design Intent

- Enhance the pedestrian environment of public right-of-way and areas within the amenity zone through appropriate street furniture.
- Provide visual continuity to the Project by providing consistent street furniture throughout the Project.

Design Standards

- Sidewalk benches should not be located within the main pedestrian walkways.
- A consistent standard for site furniture shall be developed by the ACC and maintained throughout the Project.
- Street furnishings shall not block the minimum unobstructed pedestrian walking zones.
- Seating shall be placed to serve bus stops and parks.

Design Guidelines

- Maintenance, safety and comfort should be a primary consideration in the type, design and placement of street furniture.
- Street furniture should be placed in public open spaces and plazas that have heavy pedestrian use.
- High quality site furniture should be used throughout the Project in all public areas.
- Adequate quantities of street furniture should be evaluated and used in all public areas, including benches, bicycle racks, and trash receptacles.
- Seating for sidewalk cafés is encouraged.

3.0 Intent, Standards and Guidelines

3.9 Building Mass and Scale

General Requirements

In creating a lively and successful mixed use development, a variety of building types and architectural forms are necessary. These building types inherently vary in basic form from one another in terms of height, width and massing and reflect the interior layout and size. Providing a selection of various residential types not only helps to create character for the development, but also provides housing opportunities for a range of activities, family sizes, lifestyles and income levels. Building types proposed within Littleton Village include but are not limited to:

- Retail, Commercial, Medical and Office
- Multi-family buildings
- Town homes
- Live/Work units
- Stacked Flats
- Duplex and Paired homes
- Single-family residences

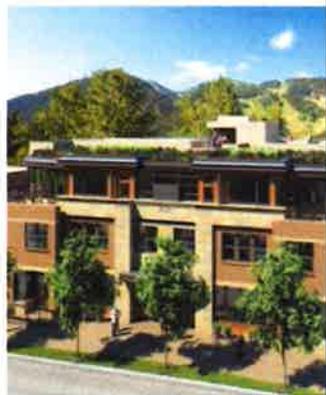
These building types shall be described in detail with development standards within the Littleton Village Design Guidelines Document. A variety of distinct building types are encouraged within Littleton Village.

In addition to a mixture of building types, a range of architectural form adds to the character of a mixed use area. Architectural form variations include features related to the building's architectural style elements. While a cohesive design strategy is desired, excessive repetition of these elements throughout the mixed use development can become overbearing and monotonous. These elements include but are not limited to:

- Roof forms and pitches, including overhangs, eaves and parapets
- Building facade articulations
- Entrances, canopies, awnings, front porches, stoops and balconies
- Primary building materials and colors
- Exterior trim and embellishments
- Type and amount of window area

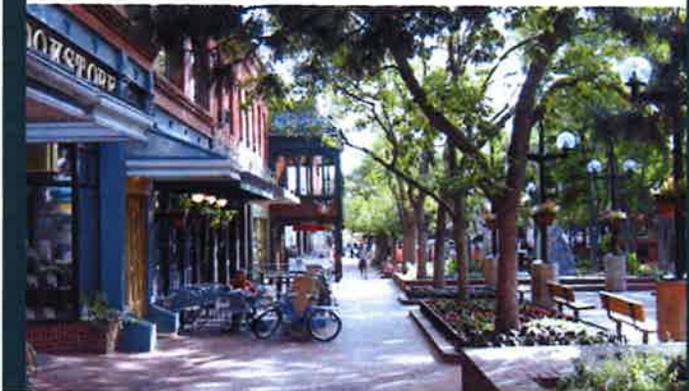
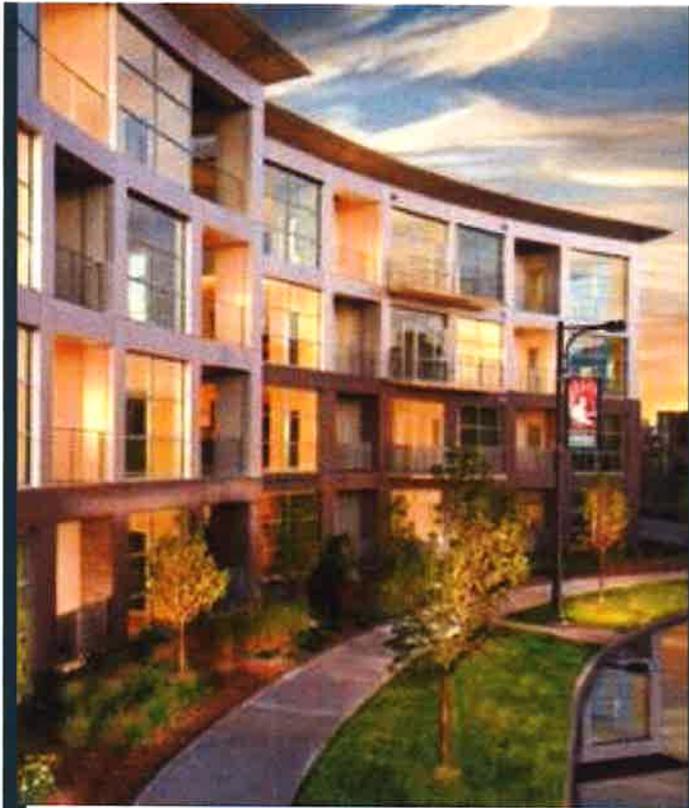
Within Littleton Village, even the assurance of 7 different types of building types may not guarantee the character variety that is desired for the area. If groupings of building types are determined to be excessively large or monotonous, a requirement can be placed on the residential units by the ACC to vary in architectural form. Examples of this might be a condition of row homes facing the length of a boulevard street on both sides, which would demand a mix of architectural forms for the row homes. As a result of neither the residential types not yet being determined or located nor the allowed architectural styles defined, the restrictions regarding architectural form variation will be addressed within these Design Guidelines in conjunction with approvals from the ACC.

Littleton
Village



3.0 Intent, Standards and Guidelines

3.9 Building Mass and Scale cont.



Design Intent

- Building height restrictions shall respect any contractual controls.
- Provide visual interest at pedestrian levels, reduce the massive appearance of large buildings and use architectural features to reflect the local character.
- Create visual interest, architectural interest, and pedestrian scale along a block.
- Create buildings with mass and form that provide an appropriate relationship between structures, streets and open spaces/plazas.
- Use the vertical nature of the buildings to provide enclosure.
- Ensure that building facades are visually active and are appropriately scaled through the use of varied architectural details, materials, textures and colors.
- Form the building edges that define and contain the street space to reinforce pedestrian activity and create a sense of place.
- Enhance corners of buildings with appropriately composed architectural elements that support their function as "gateway" buildings as well as providing iconic features throughout the Project.
- Provide human-scaled architectural elements through changes in plane, material, texture, and through the use of shade and shadow.
- Promote sun and sky exposure to public streets, parks and plazas, allowing for shade and shelter as appropriate.

Design Standards

- Buildings shall use a graduation of the building height and mass through steps in the building form.
- Buildings shall include the intermediate forms (such as corner elements, protruded or recessed bays, or expressed structural elements), to transition between higher and lower buildings.
- Building masses shall provide richness and diversity that relates to the human scale and encourages street life by facilitating interest.
- In order to reduce the perceived scale of buildings, building masses shall be broken into smaller components by means of vertical and/or horizontal articulation. Retail buildings with no articulation will not be allowed. Asymmetrical compositions are preferred.

Design Guidelines

- A variety of upper level building set-backs contributes to visual interest and should be used through the Project on buildings that are taller than two stories.
- Architectural scale relationships between buildings should be expressed through compatible horizontal relationships of architectural features. These may include, but are not limited to belt courses, fenestration patterns, changes in material, color or module and building setbacks. More than one method should be considered when addressing the scale relationships of the buildings.
- Should contain elements which help define the shopping area in which it is located.
- Building corners should be given extra attention and should achieve a higher level of architecture, and activation of the street edge through the use of pedestrian scaled facades and activation of the street through transparency.
- Variations in fenestration patterns should be used to emphasize building features such as entries, shifts in building form or difference in function and use.
- Variation in building scaling and detail should relate to the scale of the function of the pedestrian uses along the street.
- Higher building heights are preferred on the east side of Sherman Street in order to take advantage of the views to the west.

Littleton
Village

3.0 Intent, Standards and Guidelines

3.10 Facades

Design Intent

- The urban character of the streets must be reinforced to create buildings that engage the pedestrian. Single family and townhome residential neighborhood design shall incorporate a variety of product mix and architectural styles to balance the diversity and unity of streetscapes. Placement of very similar structures, facades and colors immediately adjacent to each other in such neighborhoods should be avoided.
- Portray durability, permanency, and authenticity throughout the development and be expressive of Littleton's unique character.
- The history of the site should be expressed by using sandstone which is representative of the building that stood on the site before this Project, to accent landscape and site design elements. Quantities and specific requirements pertaining to the required usage of this material shall be determined at the Site Development Plan phase.

Design Standards

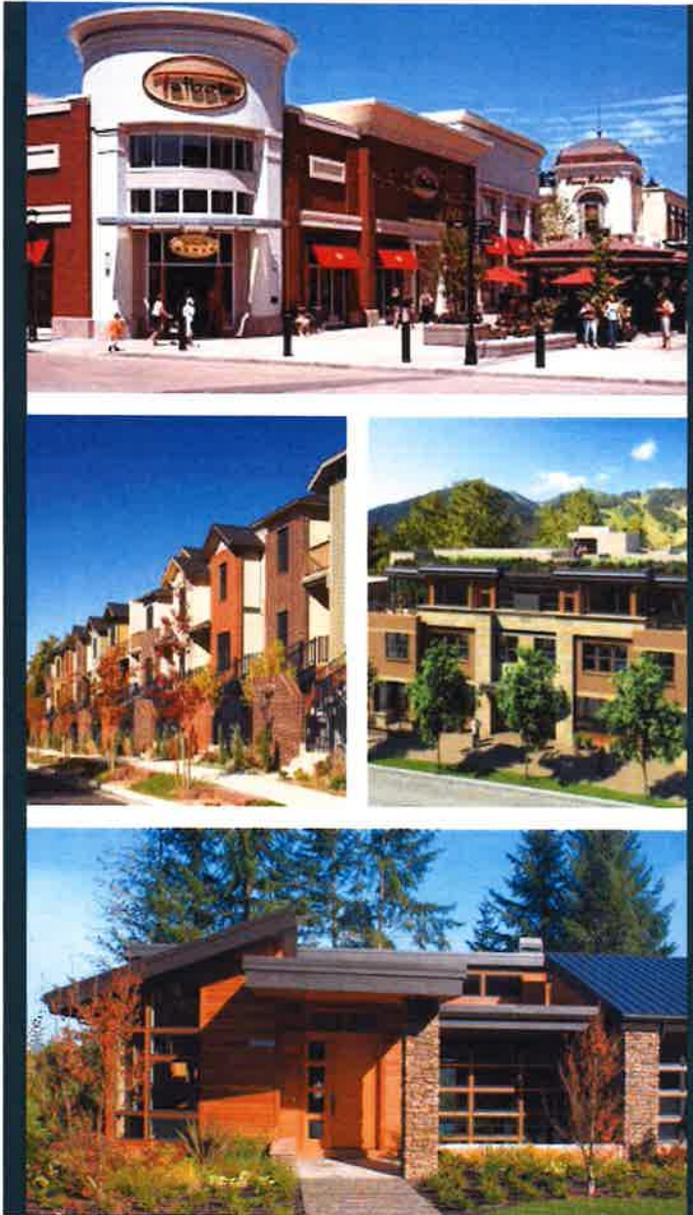
- Facades of single family residential structures which face public streets or which face common area landscaping shall have a variety of masonry applications, including full masonry, stone or stucco on at least three sides, masonry or stone wainscoting around all sides or terminated as described below, or in some cases, no masonry, stone or stucco. The definition of façade as used here does not include sloping roofs. It is expected that no less than 3 single family residential structures per development parcel with traditional lots of 40 feet or more in width shall have a minimum of three facades that are constructed of brick, stone or stucco so that a rich variety of architectural styles within each block face is achieved. Other enhancements may be considered on these homes if use of masonry is not appropriate or feasible on second floor elevations, with approval of the ACC. The location of these homes shall be in prominent locations, such as corner lots and lots adjacent to the landscaped boulevards. Single family homes of higher densities on lots of less than 40 feet in width are exempted from this requirement. It is also expected that stylistically appropriate architectural features be incorporated into facade design and that structures on corner lots with street exposure on two sides have enhanced levels of brick, stone, or stucco as well as other architectural features.
- Facades of multi-family residential structures shall have an overall minimum of 30% of brick, stone, stucco, glass, or a combination thereof, with all facades included. Glass may only be counted for a maximum of 10%, or one third of the requirement. The percentage is applied to each development parcel. The definition of façade as used here does not include sloping roofs. Structures on corner lots with street exposure on two sides shall have enhanced levels of brick, stone, stucco and glass as well as other architectural features.
- All cladding materials shall be of a high quality, durable material such as, but not limited to, quarried stone, cast stone, precast concrete, stucco, brick or other high quality masonry.
- Special architectural features and treatments shall not be restricted to a single facade, but shall continue on visible sides of the building.
- A minimum of fifty percent (50%) of the residential units fronting the street shall have entrances on that street.
- A minimum of fifty percent (50%) of the residential units shall provide an entry stoop and/or porch when there is a floor level difference with the street.
- Within the mixed use and retail area along Village Park Drive at least 50% of the length of the ground floor street frontage shall be used for doors and windows that make the uses visible or accessible from the sidewalk. No solid unbroken opaque walls exceeding 20' will face Village Park Drive on the ground floor. This transparency requirement along Village Park Drive may be reduced upon written approval by the ACC. Such reduction may be granted upon a finding that the intent of the façade variation and articulation has been met through other means such as enhanced detail and articulation.
- Within the PD-C zone district, buildings with street facades longer than 70' shall be designed with vertical breaks to create differentiation along the street facade. Asymmetrical and complex rhythms are preferred.
- Fronts of proposed residences shall face public or private streets or landscaped areas with common access.

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3.0 Intent, Standards and Guidelines

3.10 Facades cont.



Design Standards

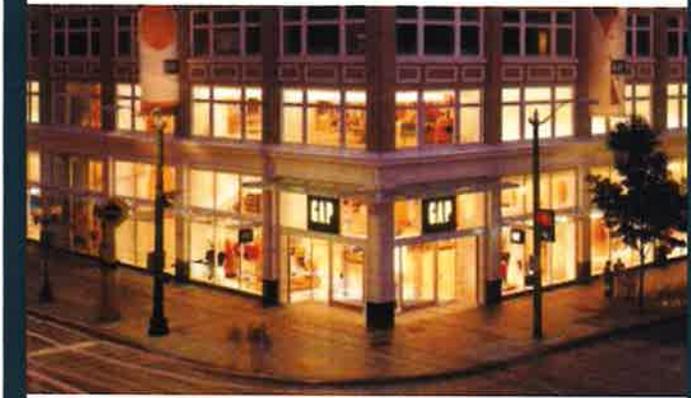
- Street facades of all multifamily residential units shall contain windows.
- There shall be a differentiation between the design of the ground floor facades and the facades of upper floor levels in order to create a distinctive base and desirable pedestrian scale along each street sidewalk.
- Facade articulation, color/material changes and architectural elements such as building breaks, changes in wall planes, gables, balconies, and varied architectural treatment shall be used to avoid long, monotonous walls.
- Foundations that extend above grade more than twelve (12) inches shall be finished with a material approved for use on the building facade or screened year round with landscaping.
- Building details shall be included and expressed in use of masonry (stone, precast and/or clay fired brick) and stucco, such as pilasters, quoins, belt courses, sills, caps, lintels, arches, keystones, friezes, and cornices.
- Masonry used to create a base or wainscot shall extend completely around all sides of the building, or may be terminated at inside corners, side yard privacy fences or appropriate architectural features. Masonry wainscots shall not be terminated at arbitrary locations in the middle of an elevation without such point of termination.
- Fronts of proposed residences shall face public or private streets or landscaped areas with common access.
- Changes in materials shall occur at inside corners vertically or where trimmed with appropriate detail, such as a belt course, horizontally.
- Details and materials shall be appropriate to building form and style.
- Street level floors of all residential units shall not be dominated by a garage or parking, but include primary entrances and habitable space. Any street level garages or parking area must be well screened or located on an alley.
- Views into leased ground floor businesses and offices shall remain unobstructed. Blank walls and windows cluttered with excessive advertising are not allowed on ground floors.
- If a large retailer is proposed, visual impacts shall be mitigated through building siting, orientations, architectural detailing, display cases & landscaping.

Design Guidelines

- Traditional materials found in Littleton's historical Main Street such as brick and stone are encouraged within Littleton Village.
- Facades should not generally incorporate more than two (2) basic building materials in addition to glass.
- To the extent possible, each unit within each residential project should be designed so that it is individually recognizable by the integration of entry porches, balconies, other projections or setbacks, and use of an appropriate rhythm of windows and doors.
- Stone or masonry is encouraged be used on the lower level to ground and express the mass and permanence of the building, particularly on those elevations fronting on or facing public streets. Stone or masonry materials used for full height of lower level elevations must be terminated at inside corners or other appropriate architectural features, and shall not be terminated at arbitrary locations in the middle of an elevation without such point of termination. Terminations of full height masonry may be considered at side yard fences only on side yards immediately facing an adjacent home, must return a minimum of 6 feet from front corners, and must use color palettes that minimize the visual impact of material transitions, with approval of the ACC.
- Traditional cornice expressions, asymmetrical compositions and complex rhythms shall be encouraged as additional means of articulation.
- Primary residential entries facing open spaces are allowed to provide an active front of the residence increasing pedestrian friendliness, safety in open spaces, and community cohesiveness.

3.0 Intent, Standards and Guidelines

3.11 Building Transparency (Commercial Buildings)



Design Intent

- Create a pedestrian friendly street environment and encourage visitors to walk between multiple destinations within the Project.
- Reveal the activity of the building to the pedestrian and to activate and secure the street.
- Provide glazing on the ground floor that increases the visibility of active uses or goods.
- Provide transparent upper level glazing to make aware of internal space and activities, lighting or products when viewed from the street or public space.
- Ensure a portion of window openings to wall opacity that allows informal observation of activities to create an open and welcoming feel.
- Building transparency requirement is not applicable to existing buildings.

Design Standards

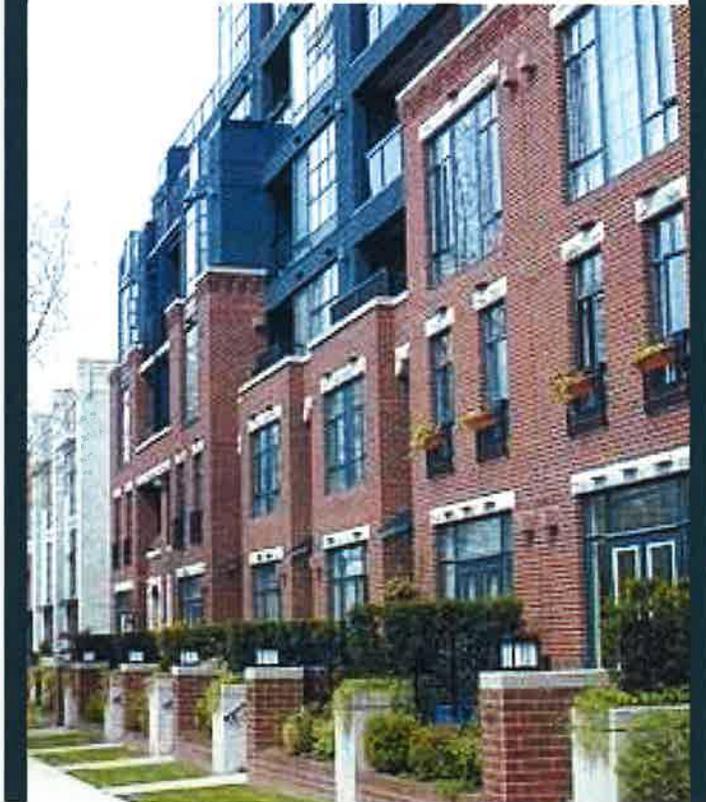
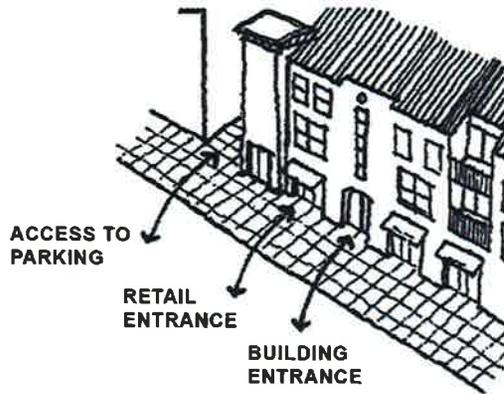
- Ground floor transparency shall be measured by the length of transparent area between 2 feet and 9 feet above finish floor divided by the total length of that same building facade.
- Building facades along Village Park Drive must be comprised of at least 60% transparent glazing display areas with sill heights a maximum of 30 inches in height (not required).
- In pedestrian oriented areas 50% of the ground floor non-residential street facing façade (excluding parking levels or structure) shall be composed of transparent glazing designed to allow pedestrians to view internal activities. This transparency requirement may be reduced upon written approval by the ACC and the Community Development Director. Such reduction may be granted upon a finding that the intent of the façade variation and articulation has been met through other means such as the use of spandrel glass or enhanced detail and articulation.
- In pedestrian-oriented areas at least 30% of a street facing (excluding parking levels or structures and hotels) façade above the ground floor shall be composed of transparent glazing.
- Buildings fronting or facing publicly accessible open spaces or plazas shall include a minimum of 40% ground floor transparency.
- Windows used to meet the transparency requirements shall comply with the following standards:
 - Windows shall be a minimum of 5 feet in vertical dimension.
 - Window glazing shall be clear and shall transmit at least 65% of the visible daylight.
 - There shall be no reflective coatings on the first surface of the glass
 - No interior or exterior modifications such as window tinting, furnishings, fixtures, equipment or stored items within 3 feet of the windows will be allowed to reduce the effective minimum transparency standards by more than 25%.
 - Open display of individual merchandise is permitted.
 - Window signage is allowed as long as it conforms to the guidelines in section 5.0 of these Design Guidelines.
 - Existing anchor buildings are not subject to the transparency requirements.
- In areas where this requirement should not apply due to unique circumstances, the planning manager has the ability to waive or reduce these requirements provided that adequate additional wall articulation and pedestrian interest has been included.

Design Guidelines

- A variety of glass types may be used at or above the ground floor, such as translucent glass, etched glass, glass block, acrylic channel glass as long as the minimum transparency standards are met.
- Opaque glass or spandrel glass may be used above the ground floor but many not be counted towards meeting the minimum percentage for transparency.
- Low-E coating shall be encouraged on the second and third surfaces to provide greater energy conservation.
- Sun screens and shades are encouraged as long as they don't significantly obstruct views through the windows.
- A lower ratio of transparency to opacity may be allowed on the upper floors of buildings if additional architectural treatment is provided.

3.0 Intent, Standards and Guidelines

3.12 Building Entries



Design Intent

- Enhance the scale, activity, and function of the public streets.
- Promote the convenience of pedestrian activity and circulation along the street by creating external, street-oriented entries.
- Visually emphasize the major entry or entries to a building or ground floor use.
- Provide convenient access to buildings from streets, drives and pedestrian corridors.

Design Standards

- An entrance shall be one of the following three types:
 - Door: An entrance on the same plane as the subject building facade.
 - Recessed Entrance: An entrance inset behind the plane of the subject building facade by no more than 15'.
 - Corner Entrance: An angled or rounded street-facing entrance located on the corner of a building 45 degrees to the intersecting streets.
- Primary building entrances shall be accented with awnings or entry features, or recessed when adjacent to sidewalks.
- Buildings shall provide at least one primary building entry oriented to or visible from a public right-of-way. A corner building may combine two required entrances in one "corner entrance".
- Street oriented building entries shall be directly connected to the public sidewalk by a paved walk, stair or ramp.
- Major building entries shall be emphasized through such design elements as changes in plane, material, and color, differentiation in canopy or awning design, greater level of detail, enhanced lighting, ornament, art, and building graphics.
- Corners of buildings shall be highlighted with special design features to increase pedestrian interest where appropriate.
- A minimum of 50% of townhouses fronting the public street shall have entrances on that street.
- Except for townhouses that face open areas or otherwise not front public streets, a minimum of 50% of the townhouses shall provide either a porch or a sheltered stoop to articulate their facade in a street/sidewalk oriented manner.
- Within the PD-C and PD-R zone districts, major building entrances to residential units shall provide a stoop (a small porch or platform leading up to the entrance of a house) when there is a level difference between the sidewalk and the entrance.
- When the ground floors are occupied by residential units, porches, balconies, or a minimum 6' landscaped buffer shall be provided.

Design Guidelines

- Primary entries that are located on the side of a building may be allowed so long as they are visible from the public right-of-way, are directly connected to the public sidewalk by a paved walk, stair, or ramp.
- Corner entrances to the retail shops are encouraged within the Village Plaza District.
- Main entrances should whenever possible be located on the Village Park Drive with secondary entrance located off side or rear of Village Park Drive buildings.
- For residential uses and mixed-use buildings with residential units, separate building entrances from the sidewalk are encouraged to reach the residential units.

3.0 Intent, Standards and Guidelines

3.13 Awnings and Canopies



Design Intent

- Add visual interest to the pedestrian environment.
- Enhance the pedestrian-oriented design and attractiveness.
- Enhance the pedestrian environment, reinforce building patterns and rhythms.
- Create shade and comfort on the sidewalks.
- Create clear identifiable entry point's specific users.

Design Standards

- Encroachments to street right-of-ways are allowed for awnings, retail signs, and eaves. There shall be no encroachment exceeding 6'.
- Awnings or canopies shall not be supported by posts in the abutting sidewalk or walkway. Awnings shall be cantilevered from the building face to keep the sidewalk as clear and unobstructed as possible.
- Awnings shall be an integral part of the architectural design of the building to which they are attached and shall be compatible with the building.
- Awnings shall serve a purpose such as reducing solar gain and shadowing the pedestrian environment.

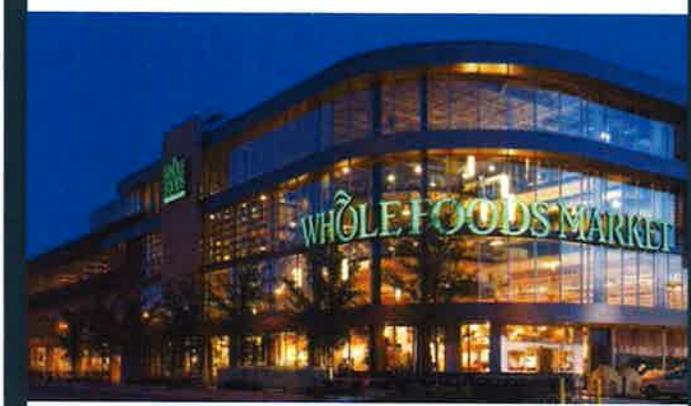
Design Guidelines

- Within the Village Plaza District, weather protection should be provided through the use of awnings, or projecting canopies.
- Awnings and blade signs are encouraged to activate the building facades along the Village Park Drive.
- Awnings should be used to supplement tenant identity, not to provide primary tenant signage.
- Awnings should be used for added color and variety but not in place of architecture or signage.
- Awnings should be positioned so that signage is not obstructed and that ample shade is cast on the sidewalks during critical times of the day.
- Design of the awnings or canopies from one building to the next should be diverse, but should be compatible with the adjacent architecture and streetscape design.
- Awnings should be unique and creative and pedestrian in scale.
- Awnings should be consistent with and relate to the facade of the building.
- Awnings should be durable and designed with high quality materials.



3.0 Intent, Standards and Guidelines

3.14 Building Materials



Design Intent

- Durability, permanency, and authenticity shall be provided throughout the development. Materials should be consistent with the vision statements for the Project and complementary to the landscaping intent.
- Create a coordinated Master Architectural Materials Palette for the entire project that provides flexibility to select materials while achieving a minimum level of quality.
- Use materials that convey a sense of quality, permanence and attention to detail.
- Create a rich variety of materials, colors and textures.
- Utilize materials that are compatible with the urban environment.
- Use materials that supports a more sustainable environment.

Design Standards

- Materials shall be selected with quality and durability in mind.
- Diversity: A variety of colors, materials and detailing shall be used throughout street facing elevations.
- Exterior Materials: Exterior materials shall be of high quality and compatible with materials of adjoining structures in terms of character, color, scale, and texture. Materials shall be authentic to their representation.
- Sustainable Materials: Locally harvested and manufactured materials are preferred.
- Reflective Materials: Reflective materials such as polished stainless steel and reflective glass shall not be used as the primary building material in exteriors. Metal finishes shall be matte if used as a primary material.
- Masonry: Within the PD-C zone district a predominance of masonry and brick shall be used on ground floors of all buildings.
- Ground floors of commercial building materials shall be composed of no less than 50% brick, stone, precast or unit masonry.
- Material changes such as finished concrete masonry units, metal panel systems, wood siding and synthetic stucco systems may be introduced on upper floors.
- Material changes shall occur along horizontal surfaces.
- Materials such as synthetic stucco systems shall be allowed on the ground floor of buildings provided that a masonry or stone surface is provided as a water table feature.

Design Guidelines

- Building materials at the pedestrian level should respond to the character of the streetscape environment through scale, texture, color and detail.
- In selecting materials, consideration should be given to ongoing maintenance and vandalism.
- Materials used in a given building should be complimentary of the architectural style being employed.
- Fronts of buildings are encouraged to use a variety of materials that are complimentary.
- Highly polished materials that may cause glare should be avoided.
- Building materials should include new technologies and materials that promote sustainability and energy resource responsibility.
- Masonry: Within the Central Park District, a predominance of masonry and brick should be used on ground floors of all facades on all buildings. Entries to individual units at ground level are encouraged, and to the extent other materials are appropriate at such entries, they may be used.

3.0 Intent, Standards and Guidelines

3.14 Building Materials cont.

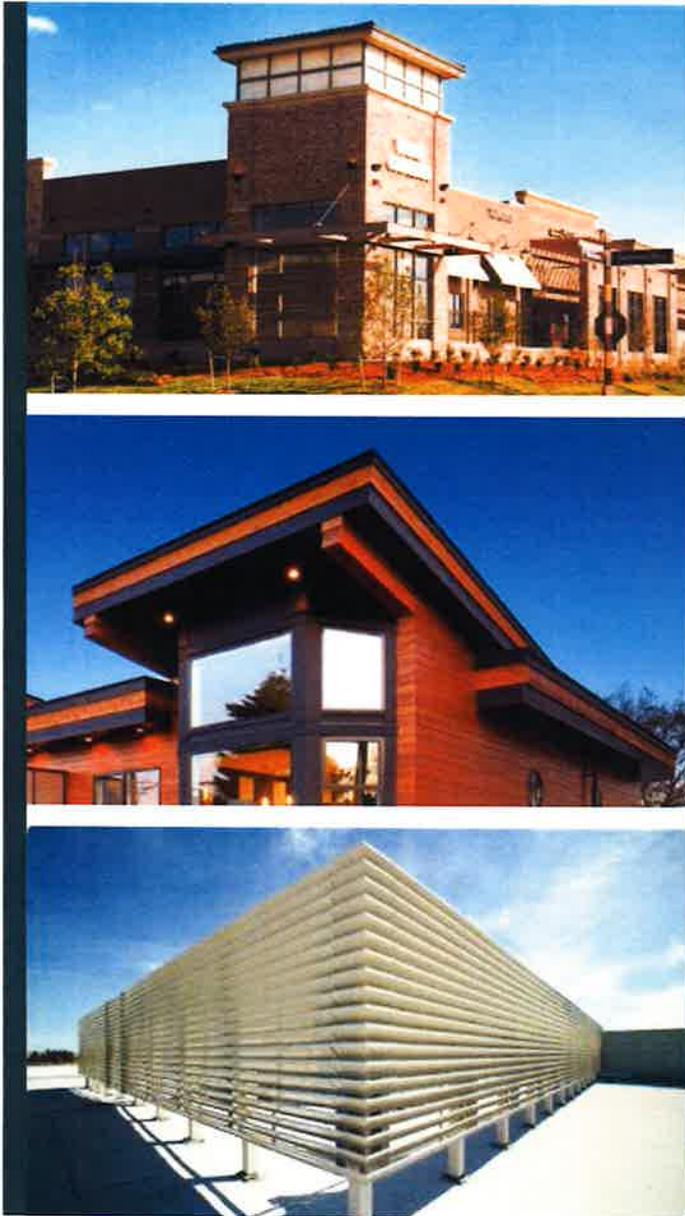
3.14.1 Master Architectural Materials Palette



NOTE: Substitutions to the master architectural materials palette are allowed at the sole discretion of the ACC.

3.0 Intent, Standards and Guidelines

3.15 Roof Forms & Materials



Design Intent

- Roof forms and materials are an important design element relating to the character of Littleton Village observed from both the external edges and inside the neighborhood and create a desirable visual edge to public rights-of-ways. More specifically, along the street scheme, particular attention shall be given to creating a composition of roof profiles to form a varying roofscape.
- Reduce the visual clutter of rooftop equipment as seen from the street.
- Reduce equipment noise impacts onto adjacent residential uses.
- Incorporate rooftop elements into the architectural design of the building.

Design Standards

- Roof mounted mechanical, electrical and communication equipment that is visible from within the Project shall be screened from public view.
- All rooftop equipment, piping, flashing, and other roofing materials exposed to view shall be screened or finished to coordinate with the roof surface color or otherwise designed to lend with the roof surface.
- Sloped roof materials must be an approved ceramic clay or concrete tile (or laminated multiple-ply thick butt composition shingles). Asphalt shingles shall not be allowed which use less than 4 bundles of material per installed square (100 square feet of roof area) or have less than a 40 year manufacturer's warranty.
- Chimneys must be clad in the same base material (i.e. brick, stone, or stucco) as the unit. Masonite, hardboard or vinyl siding are not permitted.
- Structures with sloped roofs shall have eaves of at least 12 inches, which may include gutters. On higher density residential types, such as townhomes or row homes, the eaves may be reduced to 6 inches.

Design Guidelines

- Flat roofs are acceptable, provided that meaningful plane and height changes are incorporated along the facade.
- For all roofs, both vertical and horizontal articulation is encouraged. Roof articulation may be achieved by changes in plane through the use of traditional roof forms such as gables, hips and dormers.
- Varying a parapet height to imply roof changes is encouraged.
- Rooftop design should be designed either to be unobtrusive or subordinate to the building's form and façade architecture, or should be designed to complete the building's architectural expression.
- EIFS may be used as a material for roof top screening or enclosures.
- Sloped roof color should remain dark and muted earth tones. No bright or reflective colors will be allowed.

3.0 Intent, Standards and Guidelines

3.16 Fencing, Loading & Screening



Design Intent

- Minimize the visual presence of off-street service functions, such as deliveries and refuse pick up, by locating service areas away from primary public points.
- Screen or buffer service areas, refuse containers and mechanical/utility equipment from views from streets, open spaces and adjacent properties.
- Provide security for private and common spaces not open to the general public.
- Privacy fences placed along a side or rear yard of a residential lot allow for greater personal use and enjoyment of the back yard.
- A transition fence is intended to help make a smoother connection between privacy and front yard fences.

Design Standards

- Service and delivery facilities and utility appurtenances such as gas meters, transformers, and switch gear shall be separated from the primary public building entries and shall be screened if visible from the public right-of-way.
- All fencing must exhibit a high quality design and construction reflecting the architectural character, color and material of the building or buildings it is attached or directly related to.
- Screening enclosures for refuse container and service areas shall be incorporated into the building architecture and shall utilize similar materials as the principal building.
- Screen walls and fences shall be a minimum of one foot higher than the object being screened, but not more than eight feet high on all sides where access is not needed.
- An opaque metal gate shall be included where required for complete screening.
- All privacy fences must include one gate to access alleys in alley-loaded lots. The top 12-18 inches of all privacy fencing must incorporate some change in articulation if privacy fence faces a public street.
- A uniform fence of consistent materials shall quality shall be provided along Dry Creek.
- The height of any fence shall be a maximum of 72" except where a greater height is required for large loading dock screening.



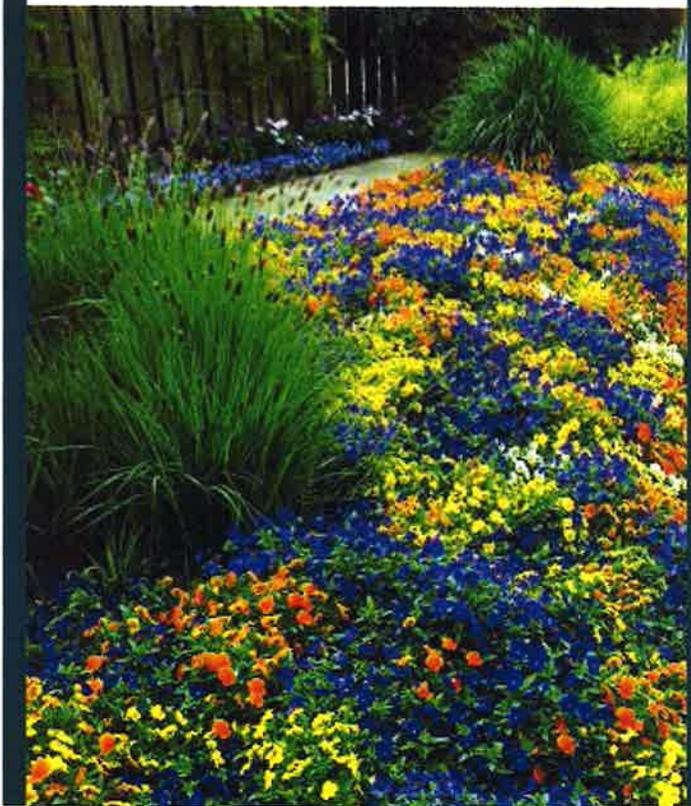
Design Guidelines

- Where topography or building forms create special conditions, screen wall height, and /or location requirements may be modified.
- Where building form or architecture suggests that ancillary structures or walls contrast with the primary building, fences and screen walls may differ in design and materials from the primary building.
- In certain circumstances, street loading from designated on-street loading zones may be allowed.
- Trash service and loading areas should not be located along street frontage and will be screened from view from public streets, open areas, and pedestrian corridors.
- When possible, equipment screens should be placed back from building edges so as to not negatively affect building mass and scale.
- Fencing and walls in the commercial, retail and high density residential areas of Littleton Village should be as minimal as possible.
- Transitional fences should be utilized along public streets.



3.0 Intent, Standards and Guidelines

3.17 General Landscape Character



Design Intent

- Select street trees that provide shade in the summer and allow sun to reach pedestrian and vehicular surfaces in the winter.
- Select street trees that do well in urban environments.
- Select trees and other plant materials that are drought tolerant and suitable to the climate and or native to the region.
- Provide healthy growing conditions for all plant materials within an urban street environment.
- Coordinate the landscaping design between streetscape, landscape areas, park and plaza open to the public.
- Sustainable site strategies shall focus on water quality and conservation, storm water management and minimizing development impacts.
- Reduce the amount of water used for on-going operations and maintenance.
- Use creative best-management practices to recycle and filter water on site.
- Minimize disturbance and erosion and maximize the success of improvements.
- Design a site with creative storm water technologies and Best Management Practices (BMP's) to reduce infrastructure requirements on site

Design Standards

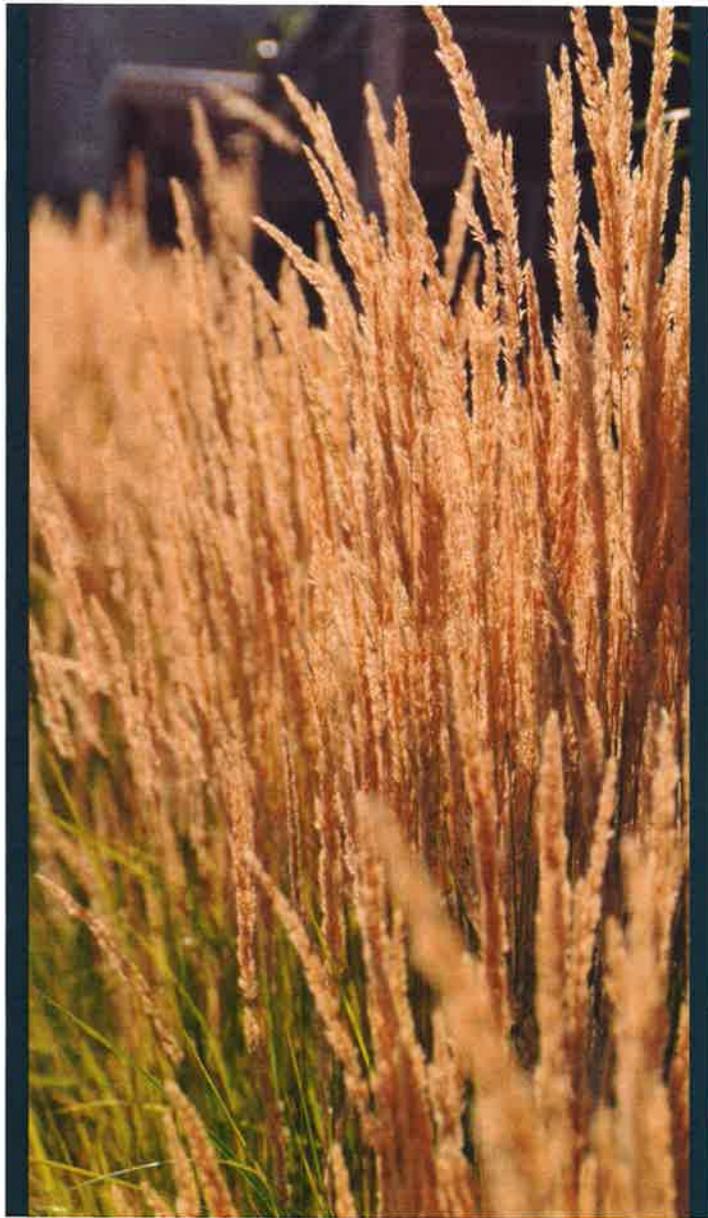
- Landscape elements shall contribute to the overall visual character of Littleton Village.
- Where trees are located in hard surface amenity zones, well drained and aerated tree wells or trenches shall be provided, and the minimum exposed surface area shall be 20 square feet (5ft. by 4ft.)
- Remaining trees and their root systems shall be protected from construction activities.
- Significant trees identified to remain shall be preserved to the maximum extent possible.
- Plant materials that can tolerate harsh climatic conditions shall be preferred over other plant materials.
- Water quality and conservation will exceed the intent of the City requirements and may include retention basins, bioretention cells, bioswales, and other best management practices.
- Landscape elements shall contribute to the overall visual character of Littleton Village.

Design Guidelines

- The use of native, drought-tolerant plant materials that optimize water conservation are encouraged, especially in less visible and lower traffic areas.
- Mulch and ground plane layers should be used where appropriate to encourage plant growth by adding organic nutrients and assisting with retention of available water.
- Specific approved plant palettes for both park and natural landscaped areas shall be as provided in these Design Guidelines.

3.0 Intent, Standards and Guidelines

3.17 General Landscape Character cont.



Design Guidelines cont.

- Where special conditions occur, variations to the above standards may be allowed so long as the health and growth of the affected plant materials are not compromised.
- Minimum exposed surface area for trees in hard surface amenity zones may be reduced provided there are other techniques are used to ensure the health and growth of the tree.
- Mulch and ground plane layers should be used where appropriate to encourage plant growth by adding organic nutrients and assisting with retention of available water.
- The use of native, drought-tolerant plant materials that optimize water conservation is encouraged, especially in less visible and lower traffic areas.
- Grass species with low water needs should be utilized in low pedestrian traffic areas.
- Manage rain water so that it irrigates landscape wherever possible.
- Use of trees for shading and cooling is encouraged throughout the Project and specifically in publicly accessible open spaces and plazas.
- Preservation of existing trees where practical is encouraged.
- Incorporation of sustainable best practices within the development is encouraged.
- Creative storm water design is encouraged in an effort to reduce infrastructure needed to accommodate the storm water flow.
- Incorporation of environmentally conscientious and sustainable principles is encouraged.
- Development of shaded outdoor space for Project visitors and residents is encouraged.

3.0 Intent, Standards and Guidelines

3.17 General Landscape Character cont.

3.17.1 Illustrative Plant Palette

Species	Common Name	Salt Spray Tolerant	Soil Salt Tolerance	Drought Tolerance	Landscape Zone*	Suggested Companion Plants
Deciduous Trees						
<i>Catalpa speciosa</i>	Catalpa	Moderate	Moderate	High	RT, MU, RS, PP	
<i>Celtis occidentalis</i>	Hackberry	Moderate	High	High	MU, RS, PP	
<i>Crataegus crusgalli</i> var. <i>inermis</i>	Thornless Cockspur Hawthorn	Moderate	Moderate	High	RT, MU, RS, PP	
<i>Gymnocladus dioica</i>	Kentucky Coffeetree	Moderate	Low	High	RT, MU, RS, PP	
<i>Gleditsia triacanthus inermis</i> 'Shademaster'	Shademaster Honeylocust	High	High	High	RT, MU, RS, PP	
<i>Quercus bicolor</i>	Swamp White Oak	Moderate	Low	High	RT, MU, RS, PP	
<i>Quercus buckleyi</i>	Texas Red Oak	Low	-	High	RT, MU, RS, PP	
<i>Quercus macrocarpa</i>	Bur Oak	High	High	High	RT, MU, RS, PP	
<i>Quercus muehlenbergii</i>	Chinkapin Oak	Moderate	Low	High	RT, MU, RS, PP	
<i>Quercus robur</i>	English Oak	High	Moderate	High	RT, MU, RS, PP	
<i>Sorbus aucuparia</i>	European Mountain Ash	Moderate	Low	Moderate	RT, MU, RS, PP	
<i>Tilia americana</i>	American Linden	Low	Low	Moderate	RT, MU, RS, PP	
<i>Tilia cordata</i> 'Glenleven'	Glenleven Linden	None	None	Moderate	MU, RS, PP	
Deciduous Ornamental Trees						
<i>Amelanchier canadensis</i>	Serviceberry	Moderate	Moderate	High	RT, MU, RS, PP	
<i>Keokuteria paniculata</i>	Golden Raintree	Moderate	Moderate	High	RT, MU, RS, PP	
<i>Malus x 'Spring Snow'</i>	Spring Snow Crabapple	Low	Low	Moderate	RS, PP	
<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Pear	Moderate	Moderate	Moderate	RT, MU, RS, PP	
<i>Quercus robur</i> 'Fastigiata'	Columnar English Oak	High	Moderate	High	RT, MU, RS, PP	
<i>Sophora japonica</i>	Japanese Pagoda Tree	Moderate	Moderate	High	RT, MU, RS, PP	
Evergreen Trees						
<i>Abies concolor</i>	White Fir	None	None	High	RT, MU, RS, PP	
<i>Juniperus scopularum, virginiana</i>	Upright Junipers	Moderate	Moderate	High	RT, MU, RS	
<i>Picea pungens</i>	Colorado Spruce	High	Moderate	High	RS, PP	
<i>Pinus edulis</i>	Pinon Pine	Moderate	Moderate	High	RS, PP	
<i>Pinus heldreichii leucodermis</i>	Bosnian Pine	High	High	High	RS, PP	
<i>Pinus ponderosa</i>	Ponderosa pine	Moderate	Moderate	High	RS, PP	
Deciduous Shrubs						
<i>Berberis thunbergii</i> 'Rose Glow'	Rose Glow Barberry	-	Low	Moderate	RT, MU, RS, PP	Caryopteris, Perovskia
<i>Caryopteris clandonensis</i>	Blue Mist Spirea	-	-	Moderate	RT, MU, RS, PP	Berberis, Rudbeckia
<i>Cornus sericea</i> 'Isanti'	Isanti Dogwood	-	-	Moderate	RT, MU, RS, PP	Juniperus, Rudbeckia, Pennisetum, Miscanthus, Hemerocallis
<i>Lonicera x xylasteoides</i> 'Clavey's Dwarf'	Clavey's Dwarf Honeysuckle	High	High	Moderate	MU, RS, PP	Hemerocallis
<i>Physocarpus opulifolius</i>	Ninebark	-	-	Moderate	MU, RS, PP	Cyanthemum, Rhus, Ribes, Sedum, Spirea, Viburnum
<i>Potentilla fruticosa</i>	Potentilla	Moderate	Moderate	Moderate	RT, MU, RS, PP	Agastache, Berberis, Juniperus, Nepeta
<i>Prunus besseyi</i>	Western Sandcherry	-	-	High	RT, MU, RS, PP	Arctostaphylos, Ribes
<i>Rhus aromatica</i>	Fragrant Sumac	High	High	High	RS, PP	Cornus, Juniperus, Miscanthus, Rosa
<i>Ribes spp.</i>	Currant	Moderate	Moderate	High	MU, RS, PP	Panicum, Pennisetum, Potentilla
<i>Rosa spp.</i>	Shrub Rose	-	-	Moderate	MU, RS, PP	Achillea, Echinacea, Lavandula, Nepeta, Panicum, Pennisetum, Rudbeckia, Sedum
<i>Perovskia atriplicifolia</i>	Russian Sage	-	High	High	RT, MU, RS, PP	Achillea, Echinacea, Miscanthus, Rudbeckia, Sedum
<i>Spirea spp.</i>	Spirea	Moderate	-	Moderate	RT, MU, RS, PP	Juniperus, Perovskia, Physocarpus
<i>Syringa chinensis</i>	Chineses Lilac	Moderate	Moderate	High	MU, RS, PP	Aquilegia, Hemerocallis, Iris, Lavandula, Malus
<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac	Moderate	Moderate	High	MU, RS, PP	Aquilegia, Hemerocallis, Iris, Lavandula, Malus
<i>Viburnum lantana</i> 'Mohican'	Wayfaringtree Viburnum	Moderate	Moderate	High	MU, RS, PP	Berberis, Juniperus

*Landscape Zones: RT - Retail Zone, MU - Multi-Use, RS - Residential, PP - Park & Parkway

3.0 Intent, Standards and Guidelines

3.17 General Landscape Character cont.

3.17.1 Illustrative Plant Palette

Species	Common Name	Salt Spray Tolerant	Soil Salt Tolerance	Drought Tolerance	Landscape Zone*	Suggested Companion Plants
Evergreen Shrubs						
<i>Arctostaphylos</i> spp.	Manzanita	Moderate	Moderate	High	RT, MU, RS, PP	Artemisia, Juniperus, Prunus
<i>Euonymus</i> spp.	Euonymus	High	High	High	MU, RS, PP	Achillea, Cotoneaster, Juniperus, Spirea,
<i>Juniperus chinensis</i> 'Armstrong'	Armstrong Juniper	Moderate	Moderate	High	RS, PP	Armeria, Cornus, Cotoneaster, Sedum, Viburnum
<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	Moderate	Moderate	High	RS, PP	Armeria, Cornus, Cotoneaster, Sedum, Viburnum
<i>Juniperus horizontalis</i> 'Hughes'	Hughes Juniper	Moderate	Moderate	High	RS, PP	Armeria, Cornus, Cotoneaster, Sedum, Viburnum
<i>Juniperus horizontalis</i> 'Wilton'	Wilton Juniper	Moderate	Moderate	High	RS, PP	Armeria, Cornus, Cotoneaster, Sedum, Viburnum
<i>Juniperus sabina</i> 'Buffalo'	Buffalo Juniper	Moderate	Moderate	High	RS, PP	Armeria, Cornus, Cotoneaster, Sedum, Viburnum
<i>Juniperus sabina</i> 'Skandia'	Skandia Juniper	Moderate	Moderate	High	RS, PP	Armeria, Cornus, Cotoneaster, Sedum, Viburnum
<i>Juniperus sabina</i> 'Tamariscifolia'	Tammy Juniper	Moderate	Moderate	High	RS, PP	Armeria, Cornus, Cotoneaster, Sedum, Viburnum
<i>Pyracantha</i> spp.	Pyracantha	Moderate	Moderate	High	MU, RS, PP	Artemisia, Echinacea, Rudbeckia
Grasses						
<i>Calamagrostis Acutiflora</i> 'Karl Forester'	Feather Reed Grass	-	High	Moderate	RT, MU, RS, PP	Echinacea, Lavandula, Nepeta, Perovskia, Rudbeckia
<i>Festuca glauca</i> 'Elijah Blue'	Elijah Blue Fescue	-	Moderate	High	RT, MU, RS, PP	Aster, Armeria, Gaillardia, Lavandula, Santolina, Sedum
<i>Helictotrichon sempervirens</i>	Blue Oat Grass	-	Moderate	Moderate	RT, MU, RS, PP	Berberis, Lavender, Santolina, Sedum
<i>Miscanthus sinensis</i>	Maiden Hair Grass	-	Moderate	Moderate	RT, MU, RS, PP	Achillea, Echinacea, Hemerocallis, Rudbeckia, Sedum
<i>Nassella tenuissima</i>	Meican Feather Grass	-	Moderate	High	RT, MU, RS, PP	Achillea, Lavandula, Panicum, Pennisetum, Rudbeckia
<i>Panicum virgatum</i>	Switch Grass	-	Moderate	High	RT, MU, RS, PP	Echinacea, Rudbeckia, Sedum
<i>Pennisetum</i> spp.	Fountain Grass	-	High	High	RT, MU, RS, PP	Achillea, Hemerocallis, Lavandula, Nepeta
Evergreen Ground Cover						
<i>Artemisia schmidtiana</i>	Silvermound	High	High	Moderate	RT, MU, RS, PP	Juniperus, Lavandula, Ornamental grasses, Rudbeckia, Santolina, Sedum, Stachys
<i>Cotoneaster</i> spp.	Cotoneaster	Moderate	Moderate	Moderate	RT, MU, RS, PP	Berberis, Juniperus
<i>Euonymus fortunei</i> 'Coloratus'	Purpleleaf Wintercreeper	High	High	High	RT, MU, RS, PP	Achillea, Juniperus, Miscanthus, Perovskia
<i>Stachys byzantina</i>	Lamb's Ear	Moderate	Moderate	Moderate	RT, MU, RS, PP	Iris, Lavandula, Nepeta, Santolina, Sedum,
<i>Teucrium chamaedrys</i>	Germander	Moderate	Moderate	High	RT, MU, RS, PP	Lavandula, Rudbeckia, Santolina,
Perennials						
<i>Achillea</i> spp.	Yarrow	Moderate	Moderate	High	RT, MU, RS, PP	Gaillardia, Lavendula, Miscanthus, Nassella, Nepeta
<i>Agastache aurantiaca</i>	Hyssop	-	-	High	RT, MU, RS, PP	Chrysanthemum, Lavandula, Perovskia
<i>Aquilegia</i> spp.	Columbine	-	-	Moderate	RT, MU, RS, PP	Armeria, Echinacea
<i>Armeria maritima</i>	Sea Thrift	Moderate	Moderate	High	RT, MU, RS, PP	Columbine, Festuca, Helictotrichon, Iris, Juniperus
<i>Aster</i> spp.	Aster	-	-	High	RT, MU, RS, PP	Crysanthemum, Echinacea, Festuca, Rudbeckia
<i>Chrysanthemum x superbum</i>	Shasta Daisy	Moderate	Low	Moderate	RT, MU, RS, PP	Echinacea, Rudbeckia
<i>Echinacea purpurea</i>	Purple Coneflower	Moderate	Low	High	RT, MU, RS, PP	Panicum, Perovskia, Nepeta, Rudbeckia, Sedum
<i>Gaillardia</i> spp.	Blanket Flower	Moderate	Moderate	High	RT, MU, RS, PP	Achillea, Echinacea, Hemerocallis, Miscanthus, Rudbeckia
<i>Hemerocallis</i> spp.	Daylilies	Moderate	Moderate	High	RT, MU, RS, PP	Echinacea, Lavandula, Perovskia
<i>Iris</i> spp.	Iris	-	Moderate	Moderate	RT, MU, RS, PP	Echinacea, Gaillardia, Lavandula, Miscanthus, Rudbeckia, Sedum
<i>Lavandula</i> spp.	Lavender	Moderate	Moderate	High	RT, MU, RS, PP	Achillea, Echinacea, Calamagrostis, Pennisetum
<i>Nepeta x jaassenii</i>	Catmint	-	Moderate	High	RT, MU, RS, PP	Achillea, Echinacea, Gaillardia, Miscanthus, Panicum
<i>Rudbeckia fulgida</i> 'goldsturm'	Black Eyed Susan	-	High	High	RT, MU, RS, PP	Echinacea, Nassella, Panicum, Pennisetum, Perovskia, Sedum
<i>Santolina</i> spp.	Lavender Cotton	High	High	High	RT, MU, RS, PP	Festuca, Helictotrichon
<i>Sedum spectabile</i>	Showy Stonecrop	Moderate	Moderate	High	RT, MU, RS, PP	Aster, Calamagrostis, Echinacea, Miscanthus, Panicum, Perovskia, Rudbeckia
Sod/Seed						
	Irrigated BlueGrass Sod		% Mix	Drought Tolerance	Landscape Zone*	
	-Sod mix shall consist of 100% Texas Hybrid 'Thermal Blue'		100	Moderate	RT, MU, RS, PP	
	Irrigated Blue Grama*		100	High	RS, PP	
	-Hachita					

*Landscape Zones: RT - Retail Zone, MU - Multi-Use, RS - Residential, PP - Park & Parkway

3.0 Intent, Standards and Guidelines

3.18 Detention Areas / Water Quality



Public Spaces Diagram 1. Village Plaza 2. Central Park 3. Boulevard Parks
4. North Boundary Parks 5. Southwest Corner Entry 6. Landscape Buffer

Design Intent

- Accommodate on-site storm water detention in ways that integrate water detention facilities into an overall landscape open space system.
- Landscape on-site storm water detention areas in ways that allow multiple uses such as wildlife habitat.
- Landscape on-site storm water detention areas so that they are visually attractive in all seasons.
- Use plant materials, bio-treatment swales and wetland plant communities to provide water treatment as well as wildlife habitat.

Design Standards

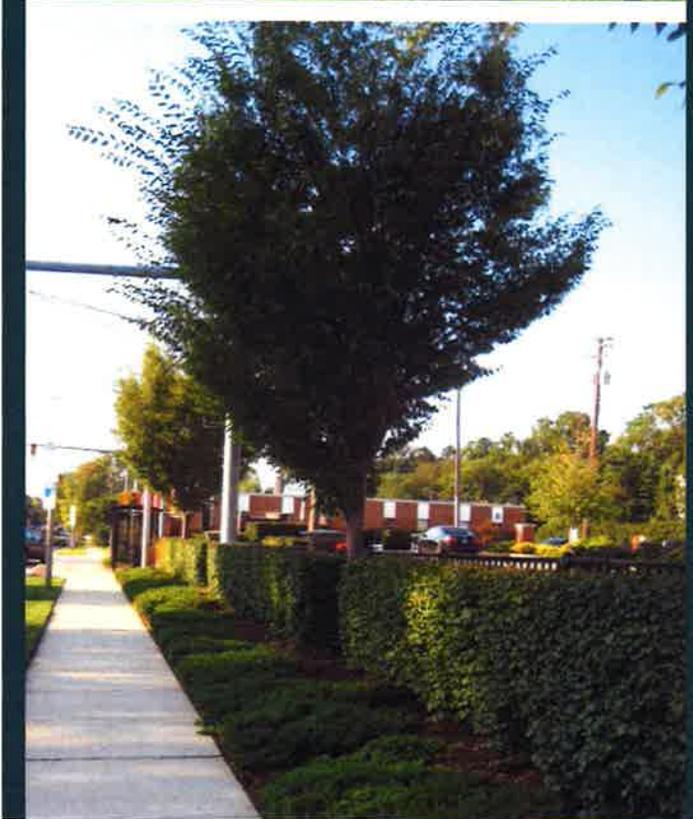
- Parcels 1, 2 and 10 shall be designed to enhance habitats and provide passive and active recreational opportunities.
- Storm water detention shall be handled primarily within Parcels 1, 2 and 10. Some detention facilities may be integrated into the Boulevard Parks but shall not adversely affect the overall usability of the parks.
- Parcels 1, 2, and 3 shall contain soft surface loop trails, lawn areas and seating areas.
- Additional active recreation uses in Parcel 3 shall include large multi-purpose fields, play structures, and group gathering facilities.
- Parcel 10 in the Southwest corner of the site may contain a water feature & plaza and may also serve as a detention area.
- Natural areas shall have informal plantings and shall be designed for minimal maintenance.
- Native materials shall be used wherever possible to provide a natural appearance. Trees, shrubs, and irrigation will also be provided.
- Natural areas are intended to effectively handle water quality & detention requirements while adding habitat and variety to the open space network.
- Plant materials and land form techniques shall be used to provide water quality treatment. Live plant materials shall cover the entire detention area with the exception of man-made elements. Project detention areas shall minimize the use of pea gravel, rip-rap, rock, cobble stones or other non-organic landscape materials.
- Man made elements such as retaining walls, head walls and inlet structures shall be designed to integrate with the natural landscaping of the detention area. Integration shall be achieved by such techniques as minimizing or stepping the height of retaining or head walls, using coloring and or texturing concrete surfaces, or using smaller scaled precast or concrete block retaining wall systems.
- Water quality treatment shall comply with the City of Littleton Water Quality Management Plan.

Design Guidelines

- In addition to separate detention areas, site detention may also be located in or on parking areas, building roofs, and underground locations with consideration given to the special design elements required for detention in these areas.
- Opportunities for walking, bicycling and sitting in a more natural habitat should be provided within water - detention areas.

3.0 Intent, Standards and Guidelines

3.19 Parking Lot Standards



Design Intent

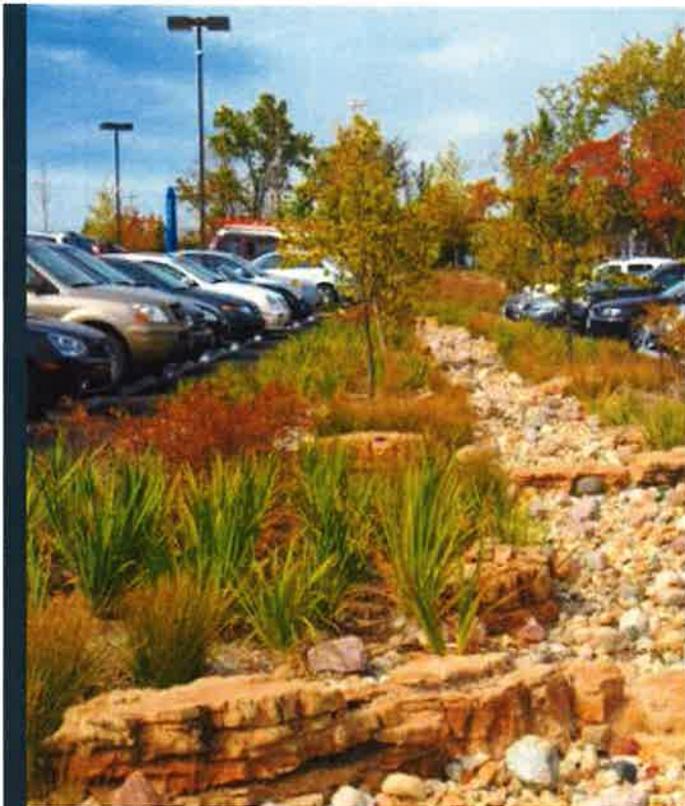
- A circulation and parking system that provides safe, efficient, and convenient access without disturbing the street life and pedestrian activity shall be provided.
- Reduce existing impervious conditions within the Project.
- Improve the appearance of and reduce the visibility of surface parking areas.
- Clearly sign parking areas for orientation and accessibility.
- Promote a walkable, pedestrian friendly site with minimum visual impacts on the pedestrian experience and streetscape environment from the surface parking.
- Screen the view of surface parking lot and the cars on them from adjoining streets, open spaces and pedestrian ways.
- Reduce the urban heat-island effect of larger areas of paving exposed to sunlight.

Design Standards

- The Project shall meet the intent of the City's minimum off-street parking requirements for each type of usage. Additionally, the Project reciprocal easement agreement will provide cross-parking easements to meet the intent of the City's parking standards.
- In general, parking lots shall be located at the side or rear of buildings. Parking between a building's frontage and a street or open space should be avoided except where the size of the use/building and/or the size of the parking lot make this infeasible.
- Access points from streets to private property and parking (curb cuts) shall be minimized. Curb cuts shall be placed no closer than 50' to the intersections or to other curb cuts and shall meet City standards. Sharing parking facilities among buildings is an effective way to minimize curb cuts, and therefore it is encouraged.
- Along both sides of Village Park Drive in PD-C, parking garages and surface parking lots shall be surrounded by other uses at the first floor adjacent to the street in order to provide desirable activities along the sidewalks. Only a maximum of 90' of parking lot within Parcels A, B, G & H may be located along Village Park Drive.
- Parking areas of 250 spaces or more shall be broken up into smaller increments or "pods" with interior landscaping or required pedestrian connections.
- Parking lots shall contain glare-free lighting and shall use full cut-off outdoor lighting fixtures.
- Parking area general standards include the following:
 - Landscaping and trees shall be sited to achieve shading of parked vehicles.
 - Parking lot trees will be provided at a minimum of one (1) tree per fifteen (15) parking spaces in protected landscape areas within the parking lot.
 - On-site drainage required for the Project shall be to the maximum extent possible incorporated into the parking lot landscape areas.
- Parking areas in general shall:
 - Abide by and include water quality and conservation and storm water management requirements.
 - Abide by and include City landscape and tree requirements as noted.
- Parking area landscape specific standards shall comply with the following standards: Table on Page 44.
- For parking lots greater than 300 spaces, at least one pedestrian path internal to the parking lot shall be provided. This pedestrian path shall be directed toward a primary building entry. A pedestrian crossing over a driving lane from such a path shall be marked with striping or special paving.
- Shrubs or ornamental grasses shall be provided at a rate of six (6) per 1,000 square feet of parking area.
- Every fourth (4th) bay of parking shall have a continuous landscape planter that will measure 8' wide from face of curb.

3.0 Intent, Standards and Guidelines

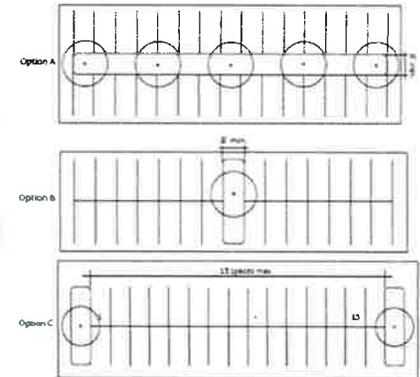
3.19 Parking Lot Standards cont.



Design Standards cont.

- Interior Parking Area Landscaping - Specific Standards: Interior landscaping shall comply with the following standards:

# of Parking Spaces per Parcel	Minimum Landscaped Area Required	Plantings Required	Planting Area Design Requirements (See Figures to side)
30 parking spaces or less	5% of the parking lots, (including drive aisles)		
21-100 parking spaces	5% of the area devoted to surface parking stalls (including drive aisles)	1 canopy tree for every 50 linear feet of double loaded row of parking	Minimum Width: 8 feet Configuration: Option A or Option B
101 or more parking spaces	5% of the area devoted to surface parking stalls (including drive aisles)	1 canopy tree and 6 shrubs, live ground cover, or ornamental grasses for every 200 square feet of required landscaped area	Minimum Width: 8 feet Configuration: Option A or Option C



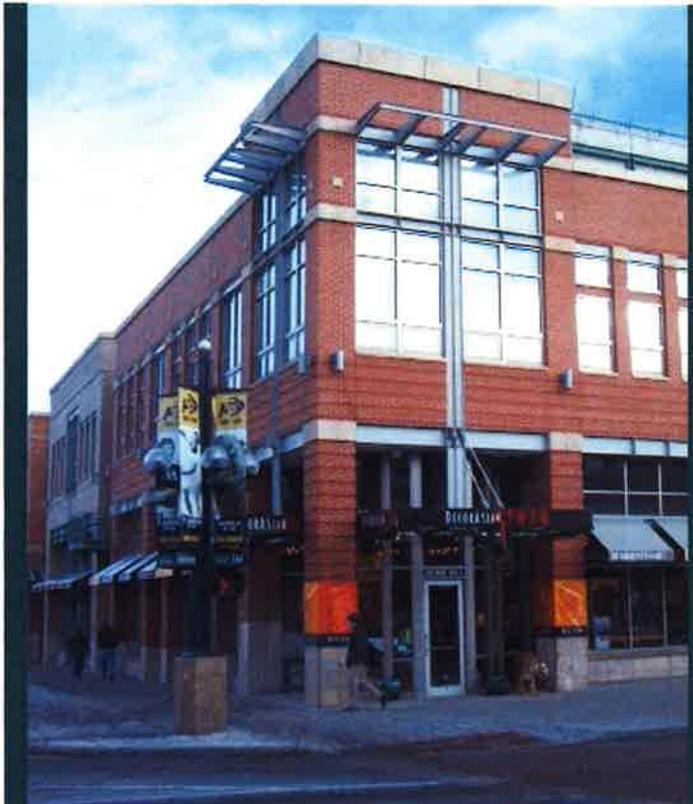
- *If an existing easement prevents the location of trees in or adjacent to a parking area these requirements may be reduced upon written approval by the ACC. Such reduction may be granted provided additional, enhanced alternative landscaping material is included in lieu of the required trees.*

Design Guidelines

- When parking lots need to abut streetscapes, alternative measures should be taken to maintain the continuity of the pedestrian walking experience.
- Adjacent on-street parking may be credited towards off-street parking requirements for nonresidential uses and for visitor parking requirements for residential uses.
- Parking area lighting fixtures should match light sources and fixtures used to illuminate pedestrian walkways or corridors and publicly accessible open spaces and plazas.
- Storm water requirements provided in surface areas should be designed as an amenity to the Project.
- Landscaped areas in large surface parking lots (300 spaces or more) should visually minimize the perception of large, continuous expanses of pavement.
- Street tree and parking lot tree placements should be combined and coordinated to prevent overlapping, adverse impacts to City parking requirements, and preserve tree health in spacing. Final layout should be coordinated with the City arborist.

3.0 Intent, Standards and Guidelines

3.20 Parking Garage Standards



Design Intent

- Mitigate the visual and noise impacts from parking garages onto public streets and open spaces, such as noise from vehicles and mechanical equipment, glare of vehicle headlights, and the light trespass from internal lighting.
- Design the garage facades adjoining public streets and open spaces so that they are compatible in character and quality with adjacent buildings.
- Provide ground floor pedestrian-active uses within parking garage facades that adjoins a public street or open space.
- Avoid large areas of undifferentiated or blank walls along public streets or open spaces.
- Line the face of a parking structure that would otherwise adjoin a street or public space with residential, commercial or institutional uses to screen the parking from the public right-of-way.
- Place parking structures underground, or internal to the development, block or building.

Design Standards

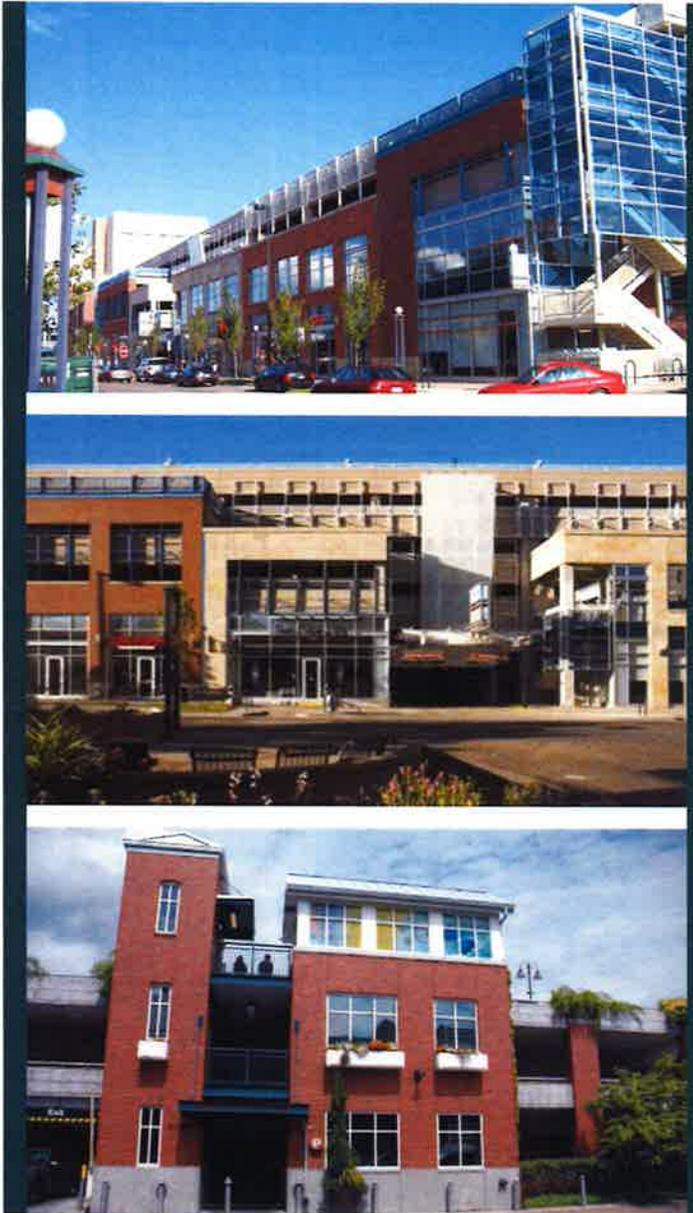
- Garage openings within facades that adjoin a public street or open space shall be vertical and horizontal, not sloped.
- Spandrel panels or walls shall be at least 3 feet 6 inches high in order to conceal the headlights of parked cars from pedestrians on the opposite side of the street.
- Rooftop parking deck lighting shall be limited to 20 feet in height, and shall be low cut-off type fixtures.
- Parking garage facades oriented to public streets and aggregated open spaces shall include architectural elements that provide at least three (3) of the following or similar techniques intended to provide variety and human scale:
 - Expression of building structure;
 - Differing patterns or sizes of openings;
 - Changes in plane of walls (at least 3 inches);
 - Changes in material, pattern or color;
 - Expression of material or cladding system modules;
 - Joint patterns and attachment details;
 - Signs, art or ornament integral with the building;
 - Quality, durable materials with smaller scaled modules, patterns, or textures and aggregated open-space; the concealment of the parking garage interior at the street or aggregated open space-facing ground floor level.

Design Guidelines

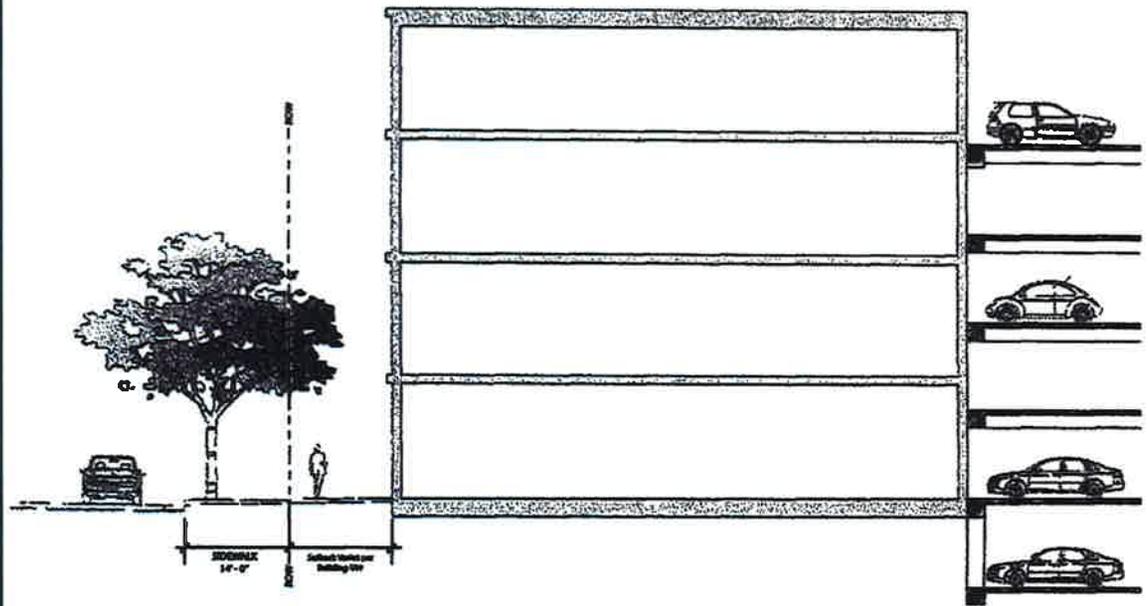
- Encourage parking garage facades adjoining public streets or aggregated open spaces to be partially or wholly concealed behind a building structure that can accommodate other active uses such as commercial, institutional or residential.
- Architectural and/or pedestrian active use standards for a parking garage may be waived if planned future building phases conceal the parking garage or add further building elements that provide pedestrian active uses or architectural interest to it.
- Where garages face streets other than the Village Park Drive, Central Park or aggregated open spaces and where it is impractical to include any ground floor uses or to conceal the garage behind other street facing uses, the architectural treatment of the entire garage façade, especially the ground floor, should meet the standard for the variety and human scale elements.
- In cases where a parking garage may precede future phases that may conceal or add further architectural elements or uses to it, landscaping or landscape elements should be provided along the parking garage facades that are clearly visible to a street or public open space until such future phases or elements are built.

3.0 Intent, Standards and Guidelines

3.20.1 Attached Parking Garage Standards



- When possible, first level uses such as retail and office are encouraged in all areas of the Village Plaza District. These uses should have entrances off pedestrian streets and promote pedestrian activity.
- When first level wrap uses are not feasible, first level parking shall be screened by using architectural elements. These elements will be of high quality materials that are resistant to damage. Screening elements will allow for air movement and light penetration and will appear to be permanent and integral elements of the structure's architectural design.



Littleton
Village

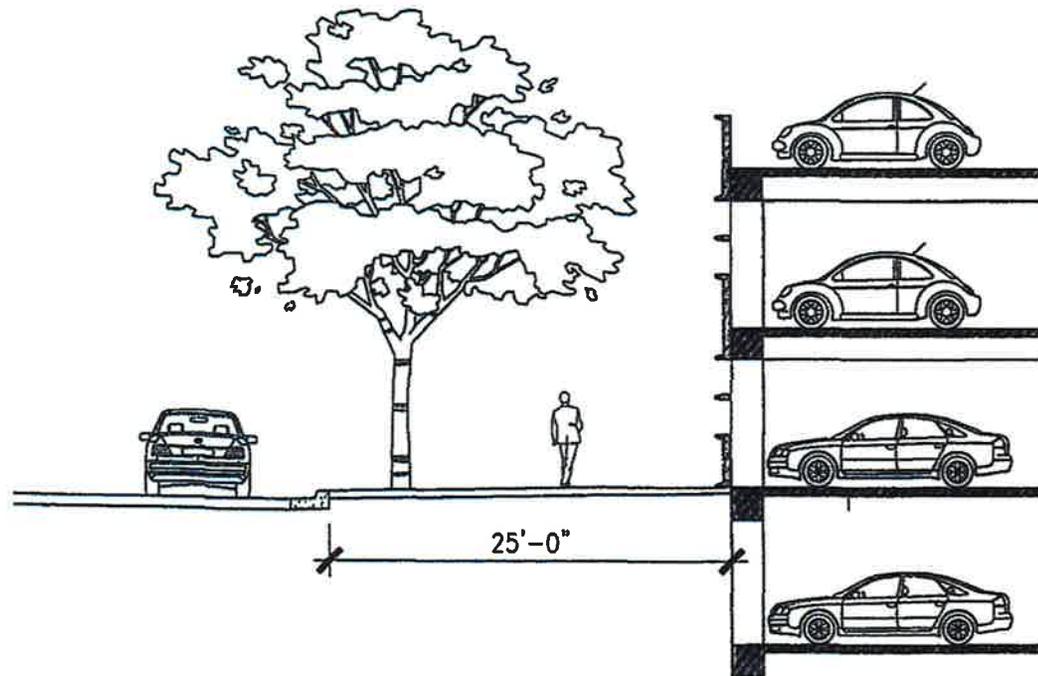
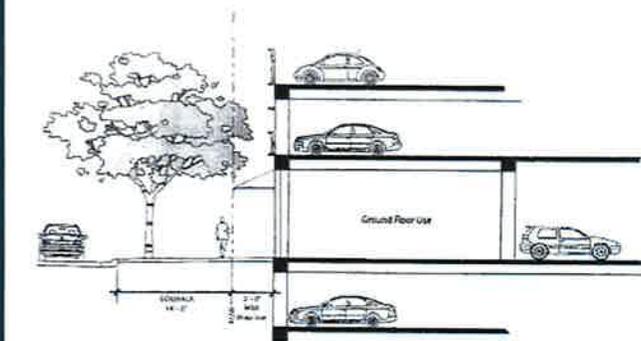
3.0 Intent, Standards and Guidelines

3.20.2 Freestanding Parking Garage Development Standards



When possible, first level uses such as commercial and retail are encouraged in all areas of the Village Plaza District. These uses should have entrances off pedestrian streets and promote pedestrian activity. When first level wrap uses are not feasible, first level parking shall be screened by using architectural elements. Pedestrian access points to parking structures will be located on active streets and adjacent to complementary uses.

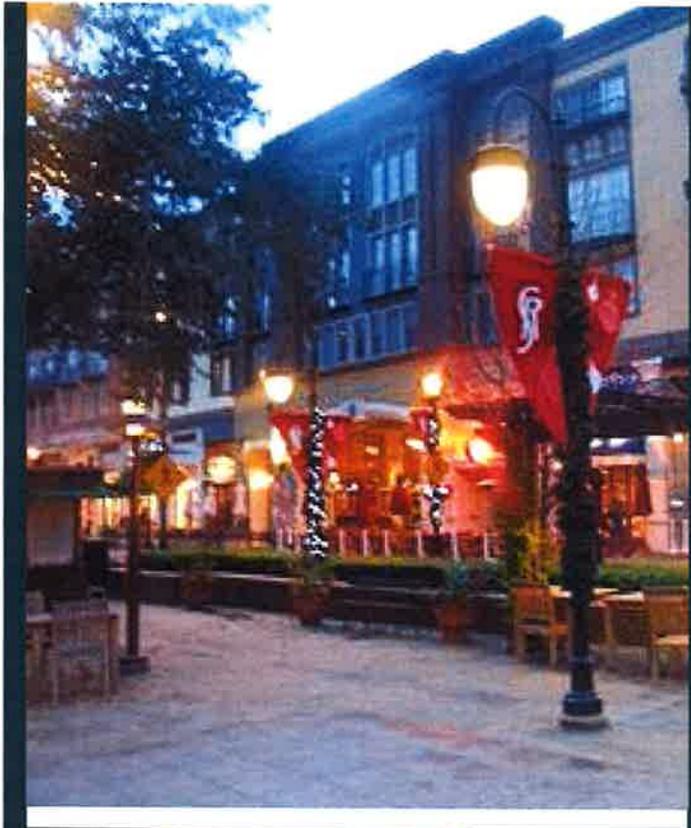
Whenever possible, parking structures should be sited internally to the block so that parking garage street frontages are avoided. If internal siting is not feasible, then the parking structure should be so that the shortest dimension fronts the street. Garages that are sited with exposed street frontage should orient the exposed frontage to commercial activities where possible, rather than residential uses. Where a garage has an exposed street frontage oriented toward a residential use, the ground floor should incorporate commercial, civic, or residential uses, and the facade should be designed to incorporate quality materials, human scale and detail.



Littleton
Village

3.0 Intent, Standards and Guidelines

3.21.1 Lighting General



Design Intent

- Use outdoor lighting to illuminate pedestrian pathways, streets, entrances, service area, signage, landscaping and other areas and elements where appropriate.
- Illuminate at light levels appropriate for each use and minimize glare and nuisance lighting to abutting neighborhoods.

Design Standards

- Outdoor lighting shall be designed to eliminate glare or light spillage onto adjacent properties.
- Light fixtures shall provide cut-off or shielding to minimize light trespass directly to the sky.
- Light levels shall be reduced one (1) hour after business operation hours to minimize the impact on surrounding neighborhoods and to conserve energy.
- Building-mounted lighting fixtures shall not project above the fascia or roof line of the building and must be shielded. Shields of building-mounting lighting fixtures shall be painted to match the surface to which it is attached or be part of an approved color scheme.
- Security lighting fixtures shall not be substituted for parking area or walkway lighting fixtures and are restricted to loading, storage and similar service areas.
- Security lighting shall be downcast and shielded.
- Where applicable, service areas shall be lighted by fixtures attached to buildings rather than by street lights or pedestrian lights.

Design Guidelines

- External lighting should consider energy efficiency and glare control so that it does not detract from the quality of the urban environment.
- Light pollution should be reduced where practical. LED lighting should be used where practical.
- Wiring, transformers, and related equipment should be below screened from public view when possible.

3.0 Intent, Standards and Guidelines

3.21.2 Street Lighting



Design Intent

- With regard to general street illumination, City street lighting standards should be integrated into the character of the Project.
- Enhance security of the street while minimizing negative impacts on private properties.

Design Standards

- Light poles shall be aligned with street trees.
- Street lighting shall meet the illumination and other requirements determined by the City's Public Works department.

Design Guidelines

- Street lighting may use different poles or luminary types and will be determined at the time of site development plan review and approval.
- Consideration should be given to adjustments in street light placement to account for existing mature trees while still maintaining a uniform spacing along the roadway.

3.21.3 Pedestrian Lighting

Design Intent

- Enhance security and the aesthetic qualities of the streetscape.
- Minimize negative impacts on neighboring properties.
- Create a comfortable and safe nighttime ambiance in publicly accessible open spaces plazas and expanded streetscapes.

Design Standards

- Pedestrian scale lighting shall be installed at illumination levels to provide pedestrian safety and avoid extreme contrast between light and shadow.
- Pedestrian lighting shall be a maximum of one (1) foot candle along internal pedestrian sidewalks and walkways and shall be a maximum of 2,500 lumens for individual landscape elements in publicly accessible open space and plazas.
- Pedestrian lighting fixtures shall be a maximum of 18 feet tall.
- General illumination of entire open spaces and plazas from remotely mounted fixtures are prohibited.

Design Guidelines

- Pedestrian lighting may use different poles or luminary types and will be determined at the time of site development plan review and approval.
- Pedestrian lights along internal streets should consist of only one fixture type.
- Pedestrian lighting should be spaced evenly and align with each other along the length of the pedestrian walkway or corridor.
- Use of single luminaries is preferred over multiple luminaries.
- Illumination sources that are low to the ground such as bollards, steps, and walkway lighting are strongly encouraged.



3.0 Intent, Standards and Guidelines

3.21.4 Parking Area Lighting



Design Intent

- Limit the negative effect of parking lot area illumination on adjacent properties.
- Provide adequate lighting levels to create a safe, secure environment.

Design Standards

- Fixtures along driveways and surface parking areas shall be consistent in type and color.
- Fixtures shall be installed at illumination levels to provide safety for vehicles and pedestrians, while eliminating glare or light spillage onto adjacent properties.
- Fixtures shall avoid light shining directly to the sky, but shall be shielded and downcast.
- Parking area lighting shall be extinguished one hour after the close of business except for minimum lighting as necessary for security.
- Parking area lighting adjacent to residential development shall direct the light away from residences.
- Maximum light pole height shall be 35 feet.

Design Guidelines

- Pedestrian lighting may use different poles or luminary types and will be determined at the time of site development plan review and approval.
- Light poles should be placed close to the area intended to be illuminated.
- Lighting should be designed to provide even and uniform light distribution without hot spots or dark spots.

3.21.5 Open Space and Plaza Lighting

Design Intent

- Create a comfortable and safe night ambiance in publicly accessible open space and plazas.
- Highlight appropriate open space and plaza elements.
- Provide the lowest levels necessary to achieve safety and efficient way finding.

Design Standards

- Outdoor lighting within publicly accessible open space and plazas shall comply with the following standards:
 - Lighting shall be designed to illuminate pedestrian pathways.
 - Lighting shall be designed for human safety and security.
 - Lighting shall minimize glare onto abutting properties.
 - Lighting shall be a maximum of 1 foot candle on pathways, but less is preferred.
 - Lighting shall be a maximum of 2,000 lumens for individual landscape elements.
 - General overhead or service pack lighting is prohibited.

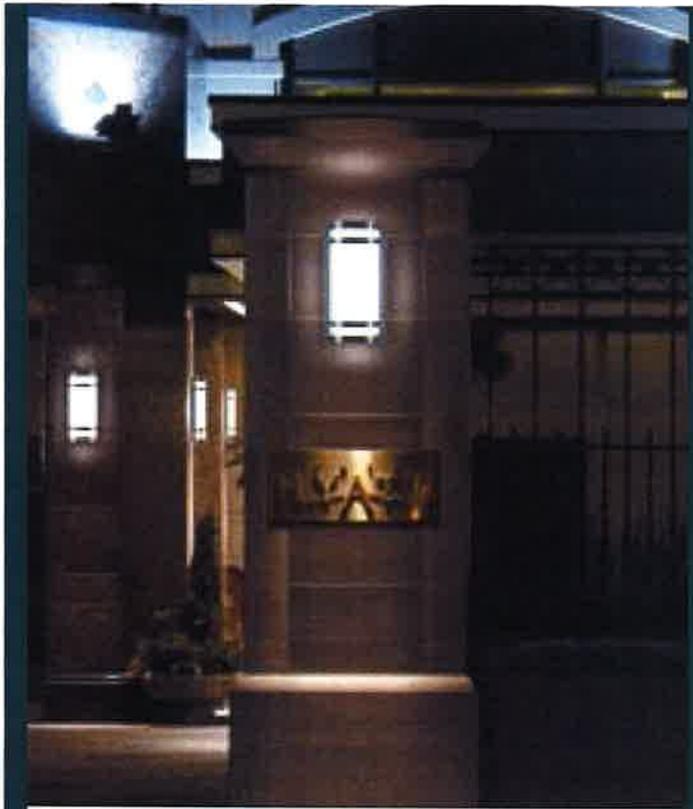
Design Guidelines

- Illumination sources that are low to the ground such as bollards, step and walkway lights are encouraged.
- Focal points such as gazebos, water features, and special landscape elements should be illuminated at night to be inviting and safe.



3.0 Intent, Standards and Guidelines

3.21.6 Accent Lighting



Design Intent

- Provide appropriate building accents above street level.
- Ensure appropriate quality of lighting for service areas.
- Highlight appropriate architectural elements.
- Provide the lowest levels necessary to achieve accent lighting.

Design Standards

- Permanent accent lighting shall be ground mounted or mounted on buildings.
- The source of light shall be screened from public view and light levels should be subdued to prevent hot spots.
- Flood lighting is prohibited.
- Building light fixtures shall be of architectural quality in regard to durability, construction, and aesthetic appearance.
- Building light fixtures shall not have exposed conduit runs, junction boxes or other unfinished elements exposed to public view.

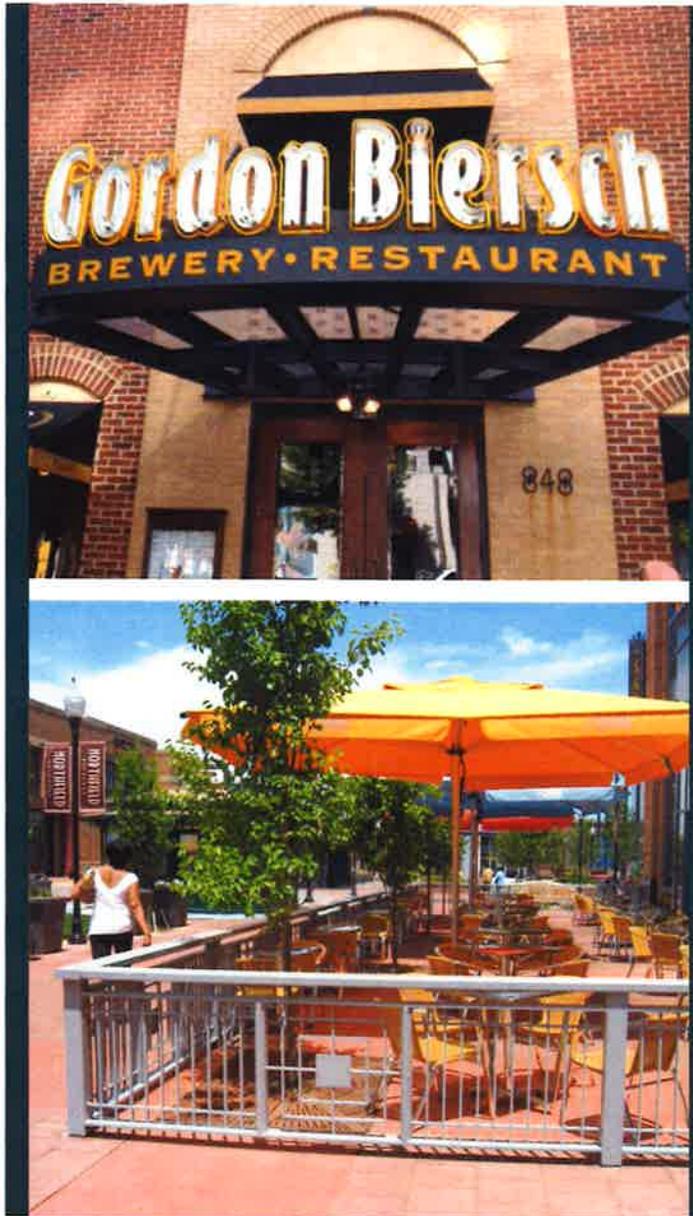
Design Guidelines

- Accent lighting of buildings, building entries, landscaping, plazas, and other special features is encouraged.
- Temporary lighting for special events and holidays is allowed and should be used for decorative purposes only.



4.0 Product Specific Standards

4.1.1 Retail uses 50,000 sf or under



Design Standards

- Single use retail buildings that occupy a site in Littleton Village shall reflect the high quality of architecture of the retail and mixed use buildings along the Village Park Drive of the Project.
- Buildings of this size shall utilize at least four of the following architectural details in their design:
 - Canopies, overhangs or porte cocheres.
 - Recesses/projections
 - Arcades, Porticos.
 - Peaked roof forms at entryway.
 - Arches.
 - Material change.
 - Door(s) which provide a focal element at the entrance.
 - Functional outdoor patios.
 - Windows which occupy an area of no less than two times the area of the entrance door(s).
 - Architectural details such as tile work, moldings, exposed trusses, columns and other similar details, which provide interest and are integrated into the building structure and design.
 - Special features such as a sculpture, a water feature, or a similar element (excluding features or images which are trademarked or in some way related to a specific business such as a logo). All designs are subject to approval by the ACC.
 - EIFS is allowed.

4.0 Product Specific Standards

4.1.2 Retail Uses over 50,000 sf but under 96,000 sf

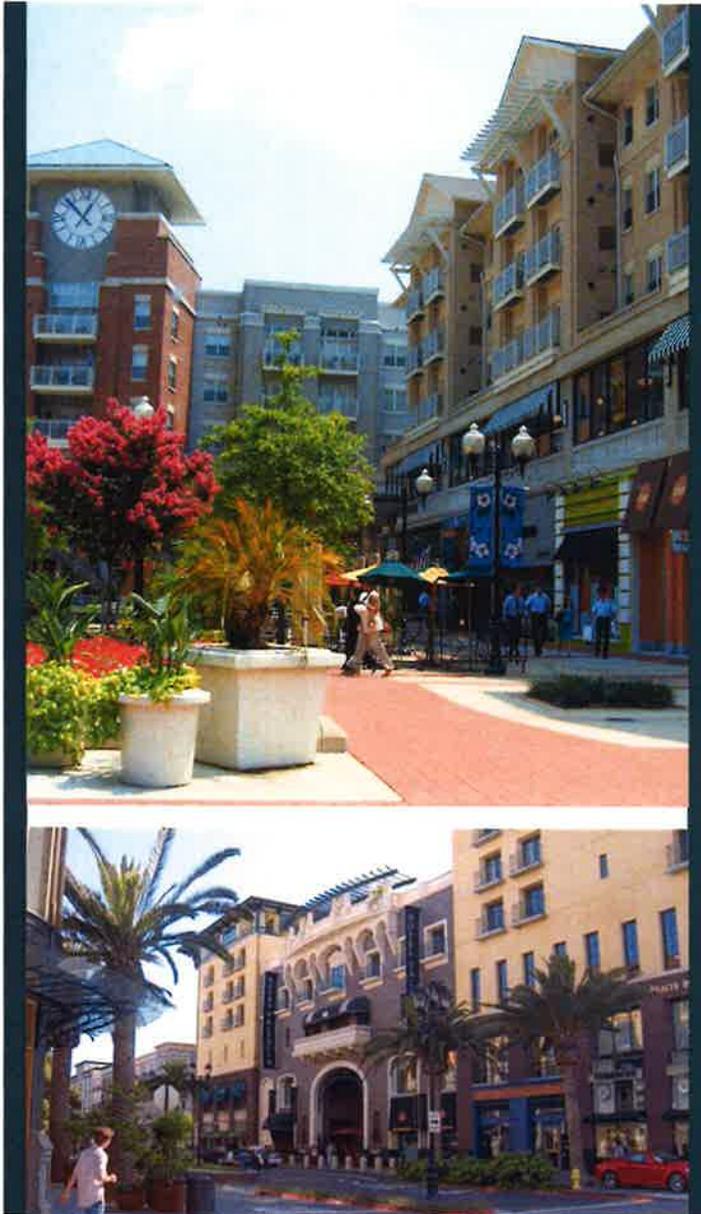
Design Standards

- Large retail buildings greater than 50,000 sq ft shall follow the requirements associated with all large retail buildings less than 50,000 sq ft as well as the following conditions:
- Facades greater than 70 feet in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least 3 percent of the length of the facade and extending at least 20 percent of the length of the facade.
- No uninterrupted length of any facade shall exceed 30% of the facade's total length, or 70 horizontal feet, whichever is less.
- Wall plane interruptions can be any of the following:
 - Change in plane.
 - Change in color.
 - Recessed face.
 - Change in texture.
 - Windows.
 - Porticos, awnings or canopies.
 - Columns.
- Primary ground floor facades that face public streets shall have arcades, display windows, entry areas, awnings or other such features along no less than 50 percent of their horizontal length. All building designs are subject to approval by the ACC.
- No single use retail shall exceed 96,000 square feet on one level.
- EIFS is allowed.



4.0 Product Specific Standards

4.1.3 Mixed Use Development Standards



Design Intent

- Reveal the activity of the building to pedestrians and activate and secure the street.
- Create a pedestrian-friendly street environment and encourage visitors to walk between multiple destinations within the Project.

Design Standards

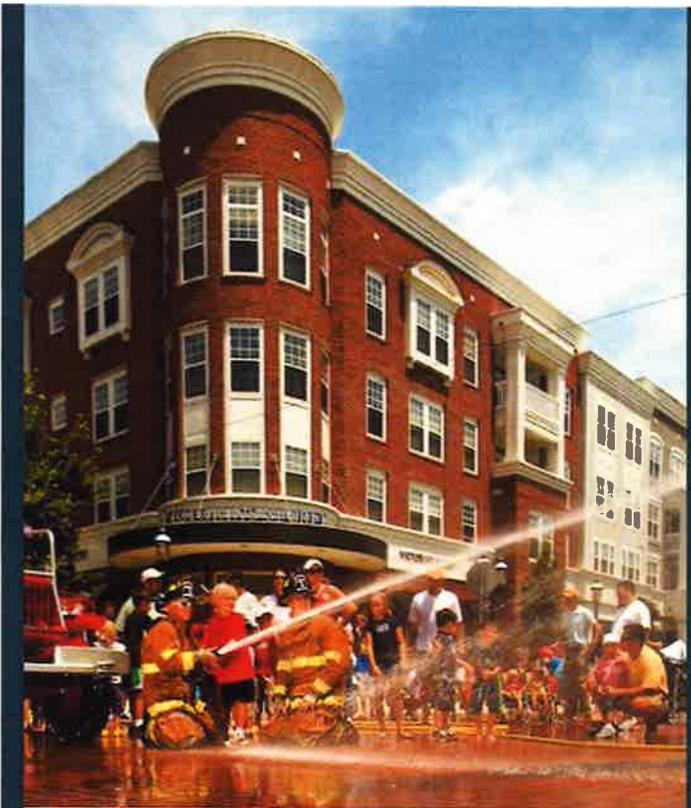
- Each primary use in a building shall have a minimum of one public entrance directly accessible from the building frontage on a private or public street or on a private drive.
- All entrances shall provide a clear, obvious, publicly accessible connection between the abutting street, drive or corridor and the primary uses within the building.
- Nonresidential or mixed-use building façades fronting on public or private streets, private drives, or a pedestrian-only corridor shall include a minimum of 60% ground floor transparency.
- "Ground story transparency" shall be measured as the total amount of transparency (or allowed alternative) provided on the subject building façade within the Zone of Transparency, divided by the total length of that same building façade. "Zone of Transparency" shall mean the area between 2 feet and 9 feet above the finished ground floor height across the entire ground floor building façade.
- All windows used to meet the transparency requirement shall comply with the following minimum standards:
 - All windows shall be a minimum of 5 feet in vertical dimension within the Zone of Transparency;
 - Window glazing shall be clear and shall transmit at least 65 percent of the visible daylight (visible transmittance shall be 0.65 or greater);
 - There shall be no reflective coatings on the first surface (i.e exterior) of the glass; and
 - No interior or exterior modifications, including temporary and permanent signage, window tinting, furnishings, fixtures, equipment or stored items within 3 feet of the windows will be allowed to reduce the effective minimum transparency standards by more than 25%. Open display of individual merchandise is permitted.

4.0 Product Specific Standards

4.1.3 Mixed Use Development Standards cont.

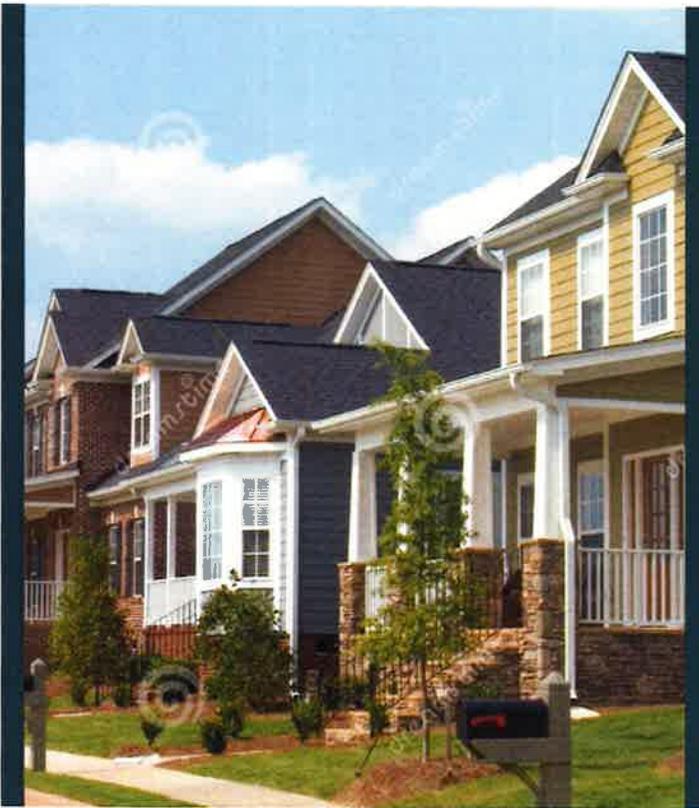
Design Guidelines

- The ground level of all buildings should be developed to provide visual interest to pedestrians. This may mean either outdoor eating/seating areas, retail display windows, or service oriented activities that can be viewed through glazing. If the building face at the sidewalk edge cannot be glazed, then the blank wall should be treated in an interesting way with decorative architectural finishes, screens, display cases, sculpture, murals or plant materials.
- Retail shops should be located at street level and should have direct access to and from the sidewalk.
- Opportunities for designs that require shoppers to enter internal malls or lobbies before entering retail shops should be avoided.
- Good visibility into retail spaces should be provided.
- Variations in fenestration patterns should be used to emphasize building features such as entries, shifts in building form or differences in function and use.
- Awnings or canopies should be used to reduce glare and reflections on required ground-floor transparency, and to shade and protect pedestrians.
- Variation in building scaling and detail should relate to the scale and function of pedestrian-active uses along the street.
- Building façades should generally align with one another at the point where they meet in the ground plane to create a continuous façade. This produces a comfortable sense of enclosure for the pedestrian and a continuous building front that attracts and encourages the pedestrian to continue along the street.
- If the façade wall is to be set back from the property line to create courtyards or arcades, other elements (such as columns, planters, changes in paving materials, or railings) should be used to define the street wall.
- In commercial buildings and parking structures, a generous ground-floor-to-ceiling height should be provided to encourage attractive leasable space.
- EIFS may be used but should be limited to upper levels.



4.0 Product Specific Standards

4.1.4 Row Home Development Standards



Design Intent

- Row Home units have tuck-under garages with alley access. Rooftop decks or balconies provide private outdoor space for homeowners. Units typically range in size from 900 to 2,400 square feet.

Design Standards

- Row Homes shall front the street wherever possible in order to create a safe and active space that is usable by pedestrians and bicycles. This street frontage should help define the more urban character inherent within this district.
- Homes fronting along the northern and eastern boundary lines shall have lower building heights so that the heights are more transitional to existing properties in these directions.
- EIFS is not allowed on residential products.

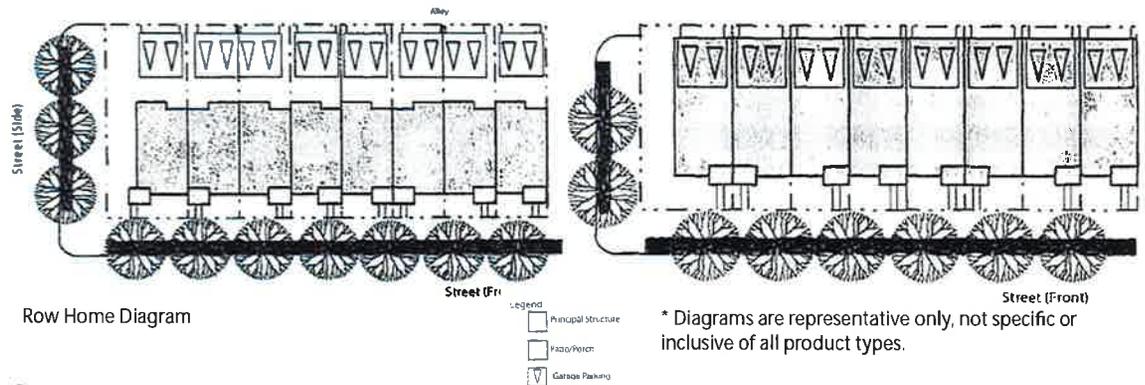
Design Guidelines

- Entrances should be articulated to provide identity for each unit while maintaining a similar proportion to adjacent entrances. Features such as porches, stoops, awnings and walkups should be provided to create character and human scale along the street
- Groupings of row homes over 8 units long should be broken off with either a relief in the building facade or by a pedestrian access point. Locations of these access points should allow for strong connectivity with adjacent blocks.
- Row Homes located at corners should adequately represent both streets for which they are fronting in such a way that they celebrate entry into that unique community.
- Any parking which is located mid block should be shielded by either garages or additional Row Homes in order to block visibility from the street. Parking within blocks should be masked from view by either buildings or vegetation from the central and neighborhood park areas.
- Side facade articulation should be treated in a similar way to the street frontage containing the front entry of the row home.

Setbacks 4.1.4

Front	4' min. 20' max.
Side	0 min.
Side Yard Along Street	4' min.
Rear	3' min.

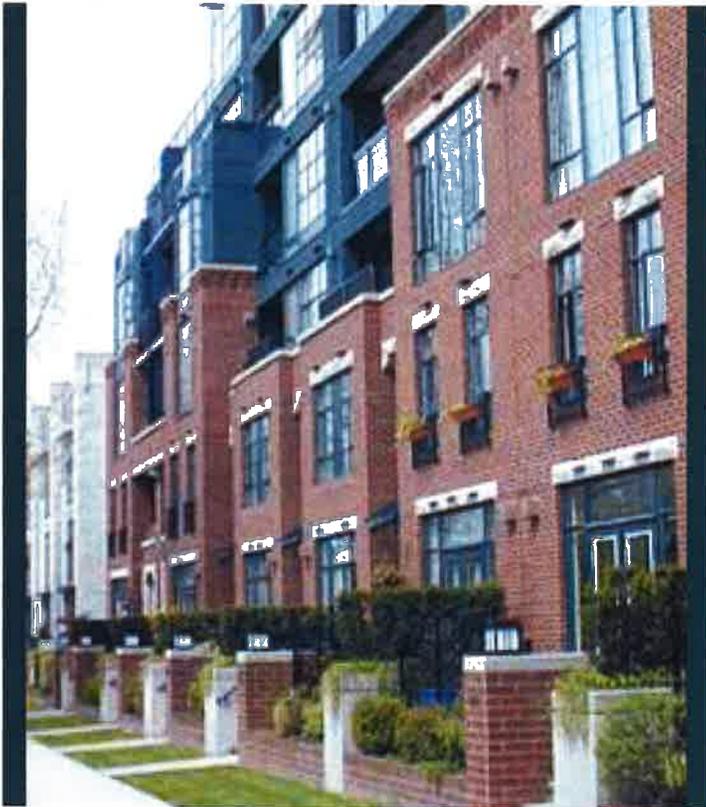
Setback parameters outlined are recommended for specific product types but are subject to ACC review and approval as long as setbacks fall within parameters of the Littleton Village GPDP. Metrics may be reduced for higher density product types as appropriate and with building or fire code issues addressed and approved by the City of Littleton Building Department. The setbacks specified in these Design Standards and Guidelines may be modified upon approval of such modification by the ACC, but shall not be less than the minimum setbacks set forth in the GPDP.



* Diagrams are representative only, not specific or inclusive of all product types.

4.0 Product Specific Standards

4.1.5 Town Home Development Standards



Design Intent

- Town Home units have detached garages with alley access. The separation between the garage and principal building creates an intimate private courtyard for the homeowner. Units typically are 1,200 to 2,800 square feet.

Design Standards

- Town Homes within the Central Park District shall front the street wherever possible in order to create a safe and active space that is usable by pedestrians and bicycles. This street frontage should help define the more urban character inherent within this district.
- Homes fronting along the northern and eastern boundary lines shall have lower building heights so that the heights are more transitional to existing properties in these directions.
- EIFS is not allowed on residential products.

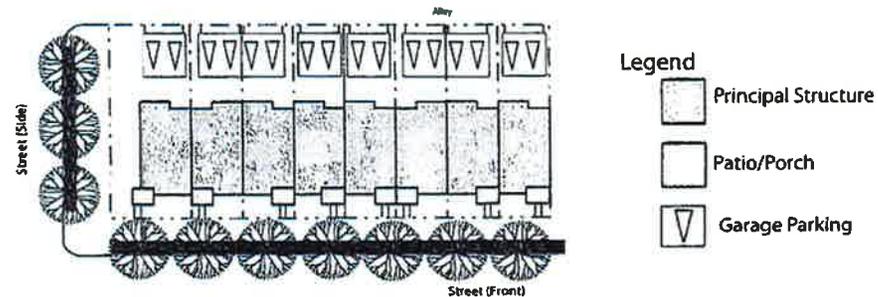
Design Guidelines

- Entrances should be articulated to provide identity for each unit while maintaining a similar proportion to adjacent entrances. Features such as porches, stoops, awnings and walkups should be provided to create character and human scale along the street.
- Each unit shall be defined by a reveal or setback articulated into the design between properties in order to break up longer elevations and provide identity.
- Groupings of Town Homes over 8 units long should be broken off with either a relief in the building facade or by a pedestrian access point. Locations of these access points should allow for strong connectivity with adjacent blocks.
- Town Homes located at corners should adequately represent both streets for which they are fronting in such a way that they celebrate entry into that unique community.
- Any parking which is located mid block should be shielded by either garages or additional Town Homes in order to block visibility from the street. Parking within blocks should be masked from view by either buildings or vegetation from the central and neighborhood park areas.
- Side facade articulation should be treated in a similar way to the street frontage containing the front entry of the Town Home.

Setbacks 4.1.5

Front	4' min. 20' max.
Side	0' min.
Side Yard Along Street	4' min.
Rear	3' min.

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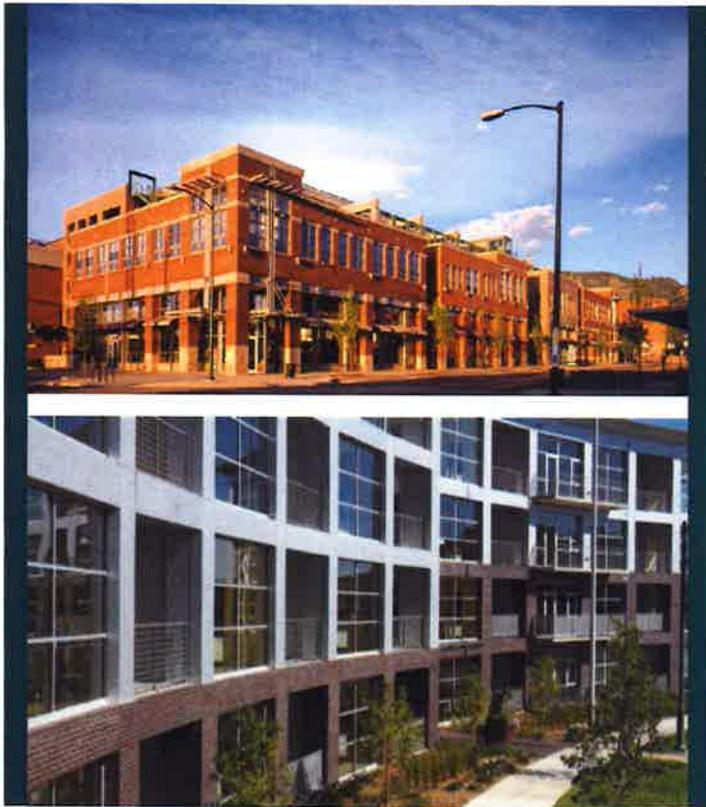


Town Home Diagram

* Diagrams are representative only, not specific or inclusive of all product types.

4.0 Product Specific Standards

4.1.6 Multi-Family Development Standards



Design Standards

- Buildings shall line streets with a well defined edge.
- EIFS is not allowed on residential products.

Design Guidelines

- Below grade parking configurations are preferred. Surface parking should be kept to a minimum and screened from street views. Pedestrian connections must be present through the middle of each block.
- Green space should be directly adjacent to the building masses for easy access by the occupants.

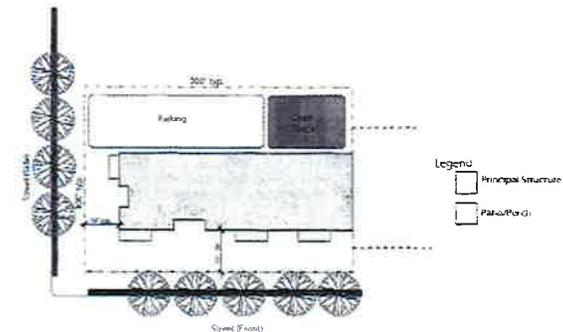
Setbacks 4.1.6

Front 0' min.

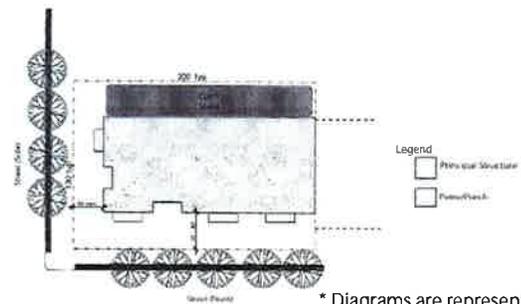
Side 4' min.

Rear 5' min.

Setback parameters outlined are recommended for specific product types but are subject to ACC review and approval as long as setbacks fall within parameters of the Littleton Village GPDP. Metrics may be reduced for higher density product types as appropriate and with building or fire code issues addressed and approved by the City of Littleton Building Department. The setbacks specified in these Design Standards and Guidelines may be modified upon approval of such modification by the ACC, but shall not be less than the minimum setbacks set forth in the GPDP.



Multi-Family 1 Diagram

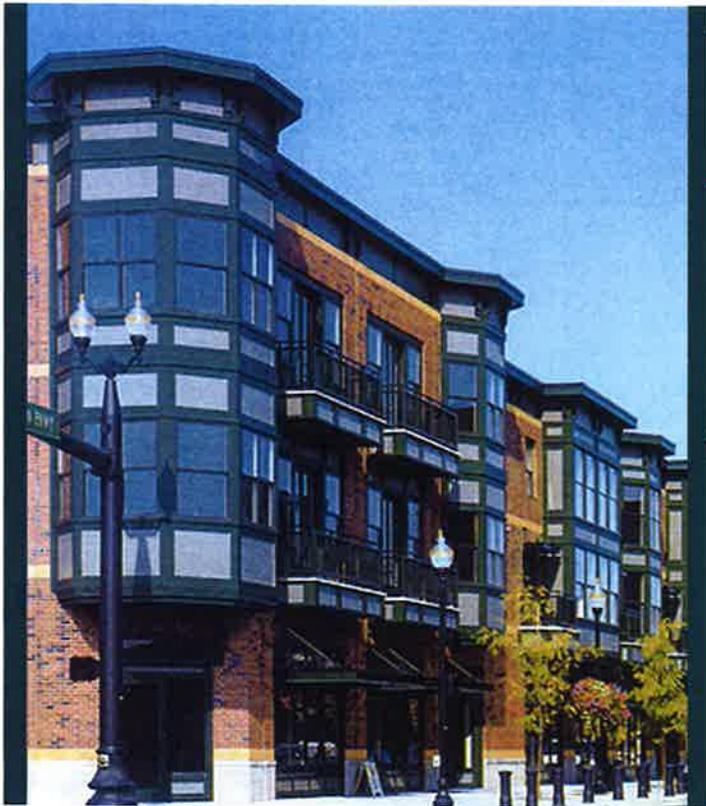


Multi-Family 2 Diagram

* Diagrams are representative only, not specific or inclusive of all product types.

4.0 Product Specific Standards

4.1.7 Live Work Development Standards



Design Intent

- Typical Live Work units have the same footprints of the Row Home and Town Home products. Space on the first floor can be dedicated to an office or retail outlet while the upper floors are for residential living. On-site parking for three to four cars per unit should be provided.

Design Standards

- Live Work units within the Central Park District shall front the street wherever possible in order to create a safe and active space that is usable by pedestrians and bicycles. This street frontage should help define the more urban character inherent within this district.
- Each unit shall be defined by a reveal or setback articulated into the design between properties in order to break up longer elevations and provide identity.
- EIFS is not allowed on residential products.

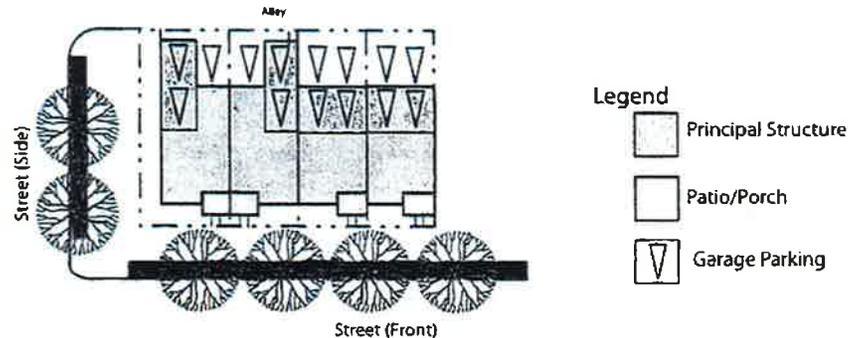
Design Guidelines

- Lower levels should allow for office and retail uses with access from the street.
- Entrances should be articulated to provide identity for each unit while maintaining a similar proportion to adjacent entrances.
- Groupings of Live Work units over 4 units long should be broken off with either a relief in the building facade or by a pedestrian access point. Locations of these access points should allow for strong connectivity with adjacent blocks.
- Live Work units located at corners should adequately represent both streets for which they are fronting in such a way that they celebrate entry into that unique community.
- Any parking which is located mid block should be shielded by either garages or additional Live Work units in order to block visibility from the street. Parking within blocks should be masked from view by either buildings or vegetation from the central and neighborhood park areas.
- Side facade articulation should be treated in a similar way to the street frontage containing the front entry of the Live Work unit.

Setbacks 4.1.7

Front	0' min. 20' max.
Side	0' min.
Side Corner Lot	4' min.
Rear	3' min.

Setback parameters outlined are recommended for specific product types but are subject to ACC review and approval as long as setbacks fall within parameters of the Littleton Village GPDP. Metrics may be reduced for higher density product types as appropriate and with building or fire code issues addressed and approved by the City of Littleton Building Department. The setbacks specified in these Design Standards and Guidelines may be modified upon approval of such modification by the ACC, but shall not be less than the minimum setbacks set forth in the GPDP.



Live Work Diagram

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4.0 Product Specific Standards

4.1.8 Single Family Home Development



Design Intent

- The Single Family Home consists of just one dwelling unit per lot. The Single Family Home usually will incorporate an attached garage as well as a private yard space. Units range in size from 1,600 square feet to 3,600 square feet.

Design Standards

- Entries to each individual unit shall be clearly articulated on the building facade, which should be street oriented for strong pedestrian connectivity.
- Surface parking shall be hidden from view from the street by either garages or landscaping.
- EIFS is not allowed on residential products.

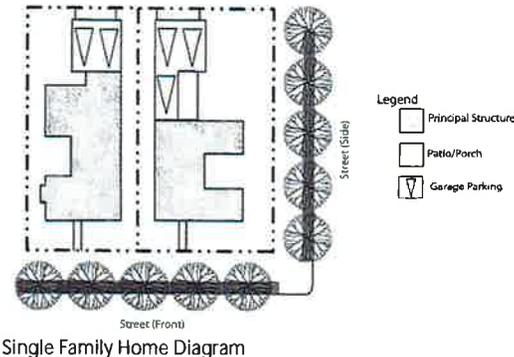
Design Guidelines

- Single Family Homes located at corners should adequately represent both streets for which they are fronting in such a way that they celebrate entry into that unique community.
- Common areas between Single Family Homes should be visible from the street and interiors of the units.

Setbacks 4.1.8

Front	4' min.
Interior Side Yard	3' min.
Interior Entry Side Yard	7' min.
Side Yard Along Street	4' min.
Rear	3' min.

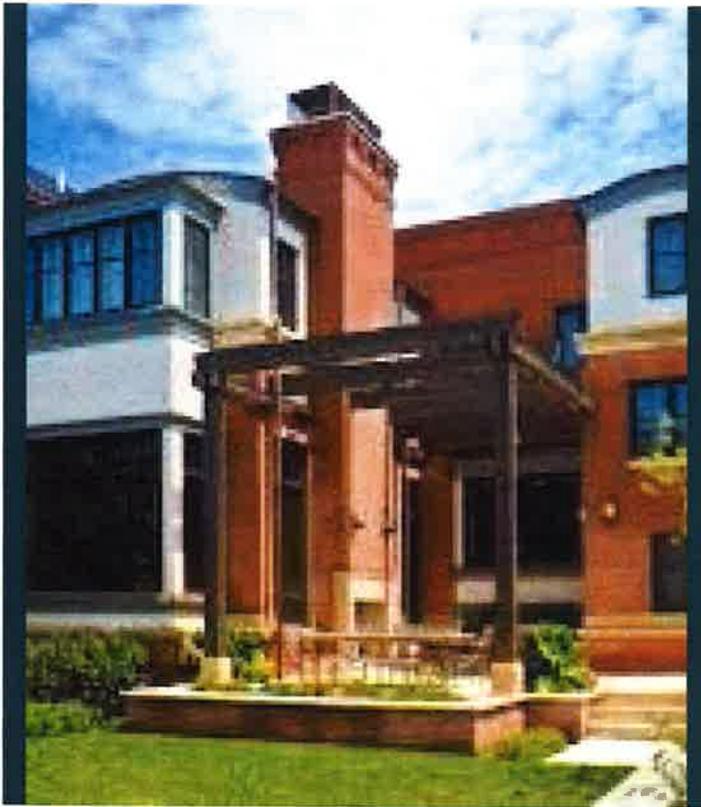
Setback parameters outlined are recommended for specific product types but are subject to ACC review and approval as long as setbacks fall within parameters of the Littleton Village GPDP. Metrics may be reduced for higher density product types as appropriate and with building or fire code issues addressed and approved by the City of Littleton Building Department. The setbacks specified in these Design Standards and Guidelines may be modified upon approval of such modification by the ACC, but shall not be less than the minimum setbacks set forth in the GPDP.



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4.0 Product Specific Standards

4.1.9 Patio Home Development Standards



Design Intent

- These homes are to be located on the eastern portion of the site and in areas where lower densities are preferred.

Design Standards

- EIFS is not allowed on residential products.

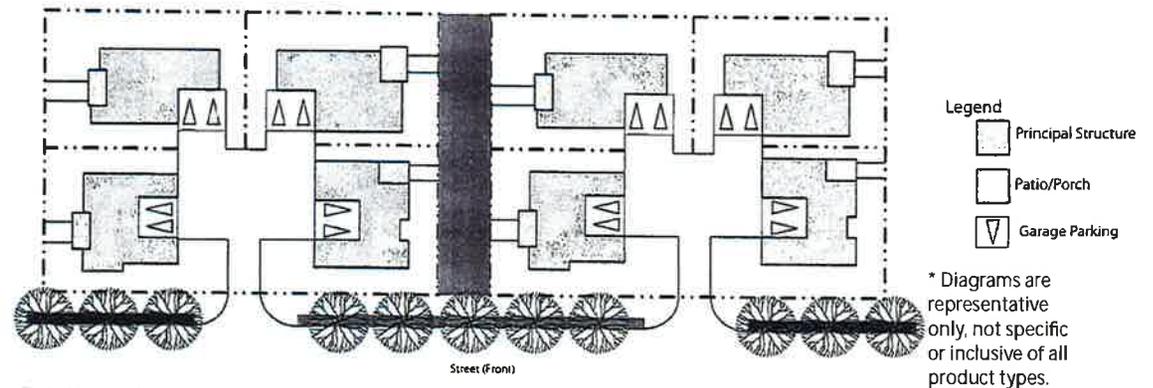
Design Guidelines

- Driveways should be located to circulate well with adjacent driveways while maintaining a minimal visual impact on the development.
- Units configured with a master bedroom on the first floor are preferred.

Setbacks 4.1.9

Front Along a Green	0' min.
Front Along a Street	4' min.
Side	5' min.
Side Yard Along Street	4' min.
Rear	3' min.

Setback parameters outlined are recommended for specific product types but are subject to ACC review and approval as long as setbacks fall within parameters of the Littleton Village GPDP. Metrics may be reduced for higher density product types as appropriate and with building or fire code issues addressed and approved by the City of Littleton Building Department. The setbacks specified in these Design Standards and Guidelines may be modified upon approval of such modification by the ACC, but shall not be less than the minimum setbacks set forth in the GPDP.



Patio Home Diagram

4.0 Product Specific Standards

4.1.10 Loft Development Standards



Design Intent

- The Loft product creates dramatic affordable homes that feature one- to three bedroom units. This product type can be configured in various patterns adding to the street variety and character. Typical configurations produce net densities exceeding 18 homes per acre. Lots suggest a downtown loft style of housing. High open volumes, few interior walls, large windows and basic interior furnishings comprise most of the architectural features of these lofts. Units can range from 800 square foot studios to 2,000 square foot two to three bedroom units.

Design Standards

- EIFS is not allowed on residential products.

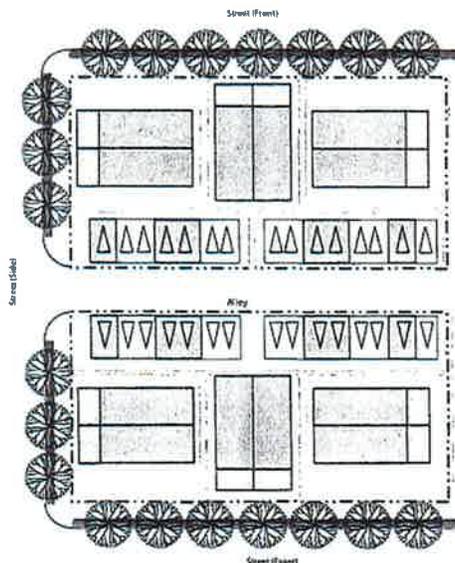
Design Guidelines

- Building fronts should orient towards the street whenever possible.
- Buildings should have similar width and depth to allow for rotating paired units to allow for side and street elevations to reduce repetition.
- Pedestrian green areas between building masses when building elevations are over 150 feet in length should be provided.
- All surface parking should be screened from the street.
- Each unit should have an outdoor space such as a balcony, terrace or lawn that is 150 square feet in size at a minimum.
- Unit interiors should include open spaces with high ceilings.

Setbacks 4.1.10

Front	4' min. 20' max.
Interior Entry Side Yard Building Separation	4' min.
Side Yard Along Street	4' min.
Rear	3' min.

Setback parameters outlined are recommended for specific product types but are subject to ACC review and approval as long as setbacks fall within parameters of the Littleton Village GPDP. Metrics may be reduced for higher density product types as appropriate and with building or fire code issues addressed and approved by the City of Littleton Building Department. The setbacks specified in these Design Standards and Guidelines may be modified upon approval of such modification by the ACC, but shall not be less than the minimum setbacks set forth in the GPDP.



Loft Development Diagram

Legend

- Principal Structure
- Patio/Porch
- Garage Parking

* Diagrams are representative only, not specific or inclusive of all product types.

4.0 Product Specific Standards

4.1.11 Duplex/Paired Home Development Standards



Design Standards

- Entries to each individual unit shall be clearly articulated on the building facade, which should be street oriented for strong pedestrian connectivity.
- EIFS is not allowed on residential products.

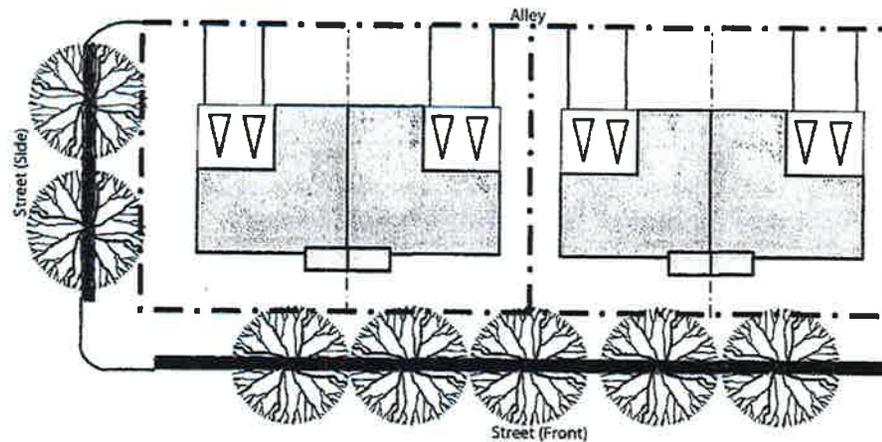
Design Guidelines

- Building fronts and entrances should face the street.
- Building massing should read as a singular entity, however unique entries for each unit should be present in order to provide individual identity.

Setbacks 4.1.11

Front	4'
Side	4' min.
Side Yard	4' min.
Rear	3' min.

Setback parameters outlined are recommended for specific product types but are subject to ACC review and approval as long as setbacks fall within parameters of the Littleton Village GDPD. Metrics may be reduced for higher density product types as appropriate and with building or fire code issues addressed and approved by the City of Littleton Building Department. The setbacks specified in these Design Standards and Guidelines may be modified upon approval of such modification by the ACC, but shall not be less than the minimum setbacks set forth in the GDPD.



Legend

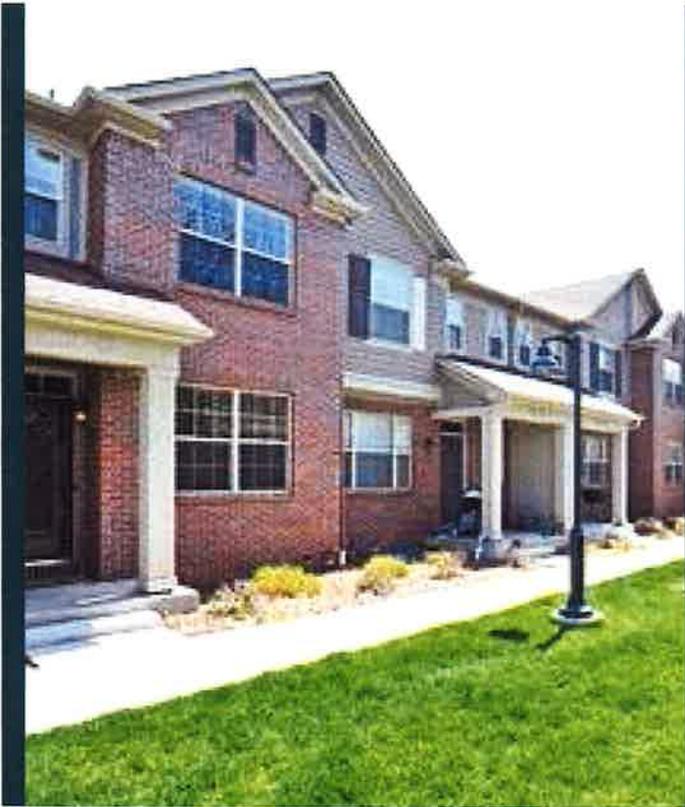
-  Principal Structure
-  Patio/Porch
-  Garage Parking

* Diagrams are representative only, not specific or inclusive of all product types.

Duplex Diagram

4.0 Product Specific Standards

4.1.12 Quadplex Home Development Standards



Design Standards

- Entries to each individual unit shall be clearly articulated on the building facade, which should be street oriented for strong pedestrian connectivity.
- Surface parking shall be hidden from view from the street by either garages or landscaping.
- EIFS is not allowed on residential products.

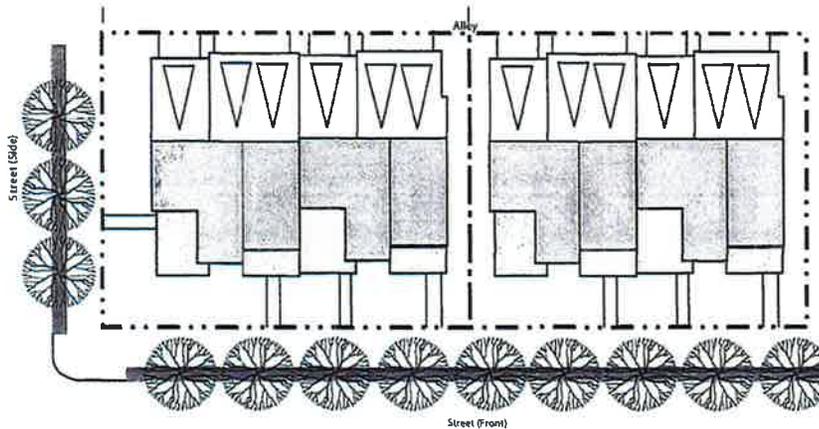
Design Guidelines

- Quadplexes located at corners should adequately represent both streets for which they are fronting in such a way that they celebrate entry into that unique community.
- Common areas between Quadplexes should be visible from the street and interiors of the units.
- All Quadplex homes should include outdoor spaces adjacent to each unit that are either a balcony, patio or lawn.

Setbacks 4.1.12

Front	4' min. 20' max.
Side	4' min.
Side Yard	4' min.
Rear	3' min.

Setback parameters outlined are recommended for specific product types but are subject to ACC review and approval as long as setbacks fall within parameters of the Littleton Village GPDP. Metrics may be reduced for higher density product types as appropriate and with building or fire code issues addressed and approved by the City of Littleton Building Department. The setbacks specified in these Design Standards and Guidelines may be modified upon approval of such modification by the ACC, but shall not be less than the minimum setbacks set forth in the GPDP.



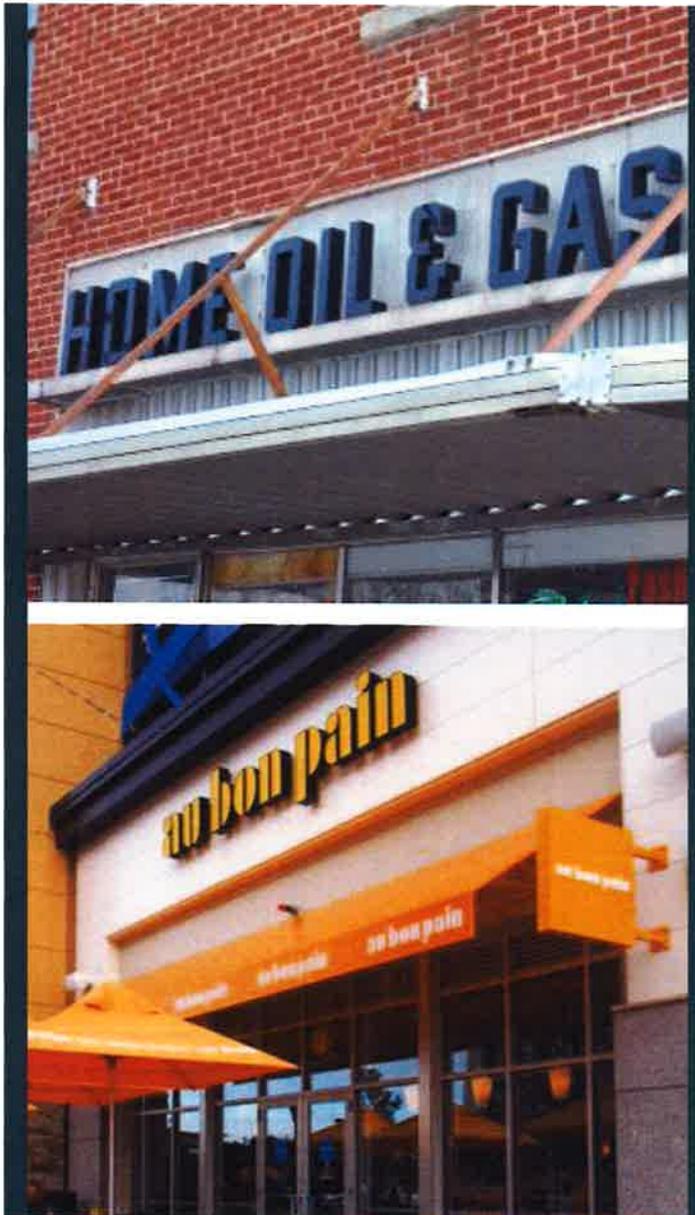
Quadplex Diagram

- Legend
- Principal Structure
 - Patio/Porch
 - ▽ Garage Parking

* Diagrams are representative only, not specific or inclusive of all product types.

5.0 Signage

5.1 Signage General



- These guidelines are in addition to the City of Littleton signage regulations. In the case of conflicts, the more restrictive guideline will apply.

Design Intent

- Provide clear identification of buildings, individual tenants and uses.
- Create signs and graphic elements that are appropriate to and expressive of the use or product that they identify.
- Create high quality, professionally fabricated signs using durable materials.
- Foster creativity, and uniqueness in sign design appropriate to a contemporary urban setting.
- Add visual interest to the architecture.
- Provide way finding for the Project for both vehicles and pedestrians.
- Provide a gateway into the Project.

Design Standards

- The project shall meet the intent of the City's signage requirements. Signage Design Standards will be imposed to produce and control the following.
 - A uniform building identification and addressing system that incorporates the projects sense of place.
 - Way finding and directional signage for vehicular and pedestrian traffic.
 - Project identification (monument signs including an LED message board at the three primary entrances).
 - Tenant identification.
 - A permissible range of graphics and design for awnings, murals and lifestyle signatures.
- Signs shall be compatible with enhancement of the Project and its architecture in terms of scale, proportion, color, materials and lighting levels.
- Signs shall be creative in usage of two and three-dimensional forms.
- Use of company logos, themes, and colors shall be incorporated into the architectural design and be consistent with these Standards and Guidelines.
- Signage and lighting are inherent design elements and shall be integrated into the architecture.
- Mixed use buildings shall provide location on the commercial areas of the building façade that are specifically designed to accommodate changeable tenant signage including wall signs, projecting signs, and window signs.
- Structure, materials, detailing and power sources shall be designed with consideration of signage installation requirements and shall be readily adaptable and repairable as tenant sign needs change.
- Orientation of any illuminated sign or light source shall be directed or shielded to reduce light trespass and glare.
- Signs shall be constructed of high quality, durable materials. All materials must be finished to withstand corrosion.

Design Guidelines

- Signs should not be obtrusive to the surrounding uses.
- Signs should be part of a hierarchical system or family of signs that are designed to be scaled and proportional to their function and location.
- Indirect and external light sources should be the preferred option where lighting is required.
- Signs should be organized in a logical arrangement that does not adversely affect the streetscape.
- Signs should avoid overlapping or concealing architectural elements.

5.0 Signage

5.2 Sign Types

5.2.1 Primary Monument Signage

As a response to the major roadways bordering the property, an identifying statement for both the development and for the City of Littleton is planned for the corner of Broadway and Dry Creek. This placement takes advantage of the traffic volumes, visibility and topography of the location. It is envisioned that a major retaining wall system with integral water feature will help identify this important gateway. The plan will accommodate pedestrian movement along the major roadways as well as connections into the site. Landscape will enhance the feature and compliment the design theme. The opportunity to integrate materials historically identified with the site, such as the stacked sandstone, will reflect the property's past and uniquely identify the site within the Littleton area.

5.2.2 Secondary Monument Signage

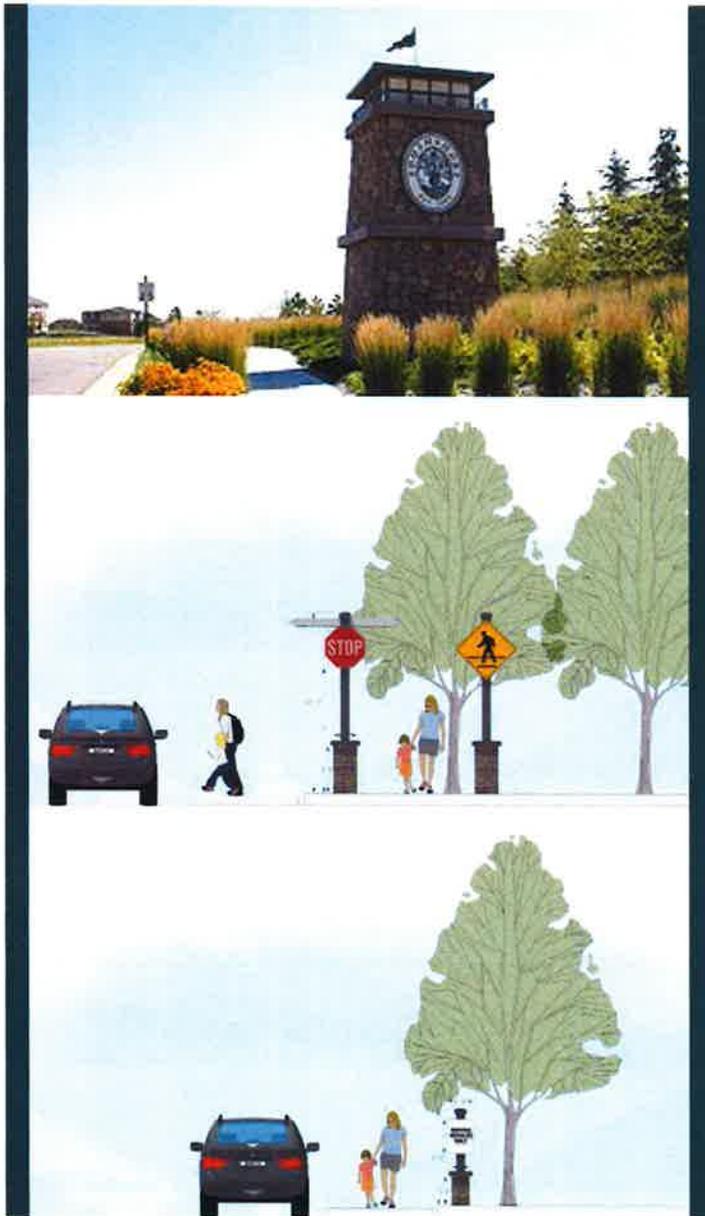
Entry locations to the Village Plaza District along Dry Creek and Broadway/Fremont will be punctuated by secondary monument signage. These elements will likely be vertical elements identifying the development and will serve as a gateway feature as traffic enters and exits the site. Material palettes used in both the architecture of the site and the primary monument signage will be incorporated into these monuments. Entry locations to individual residential areas may also incorporate secondary monument signage to identify each of the developments or residential areas within the project. Material palettes used in both the architecture of the site and the primary monument signage will be incorporated into these monuments.

5.2.3 Directional Signage

As a part of the signage program, directional signage within the interior of the development will reflect the style and material palette used in the monuments. The principal function of these signs is to provide information clearly, but to also support the design function of the entire signage program. These signs will be located within the Village Plaza District with signs also anticipated within major open spaces envisioned for the site.

5.2.4 Regulatory Signage

To compliment the other signage designed for the site, the development could include custom regulatory signage. These signs would include stop, yield, one-way and street name signs as part of the program. Any materials or design styles should compliment and work within the palette established by architectural development and monument signage design.



5.0 Signage

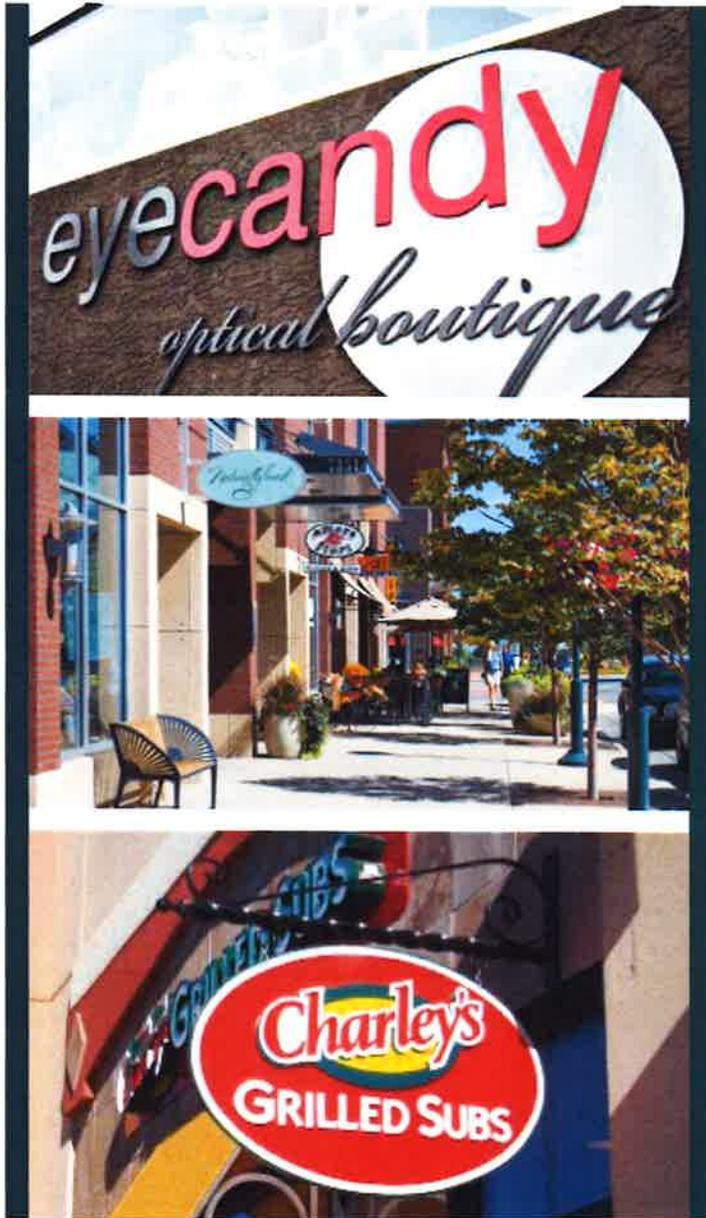
5.2 Sign Types

5.2.5 Wall Signs

- Tenants occupying ground floor space are allowed one sign per bay, based on lease street frontage. Tenants occupying ground floor space on a corner facing two streets are allowed one wall sign per street side.
- Parking garages are allowed one wall sign per vehicle entrance and exit.
- Wall signs may make up a maximum of 100 square feet or ten percent (10%) of the total exposed frontage.
- Pad Sites are permitted one wall sign per side of building that faces a street or parking area. Up to 3 signs maximum are allowed.
- Wall signs shall be mounted in the designated mounting section of any building. This consists of the area from the top of the tenant's awning or glazing to the bottom of the next floor's window or architectural wall element.
- Wall signs shall consist of individually mounted letters, internally illuminated channel letters, logos, or icons without sign backings unless otherwise approved. Wall signs shall fit with the tenant's storefront design and the architecture of the building.

5.2.6 Projected Signs

- Projecting signs offer the pedestrian quick knowledge of the stores along any street. They also add an extra dimension to the streetscape much like awnings and shade structures do.
- Each ground floor tenant can be allowed one projecting sign per building frontage facing a street.
- Each parking garage is allowed one projecting sign for each vehicular entry or street oriented facade.
- Each pad site can be allowed one projecting sign for each building side facing a street.
- Ground floor tenants, parking garages, major retailers and free standing buildings are allowed a maximum 96 cubic feet in volume for all projecting signs.
- Projecting signs may extend beyond the ground floor retail if the architecture allows for such a sign and it may not extend into areas occupied by residential units.
- Projecting signs of rectangular or square internally lit cabinets are not permitted
- Signs should be unique to the tenant and reflect the architecture of the building.



5.0 Signage

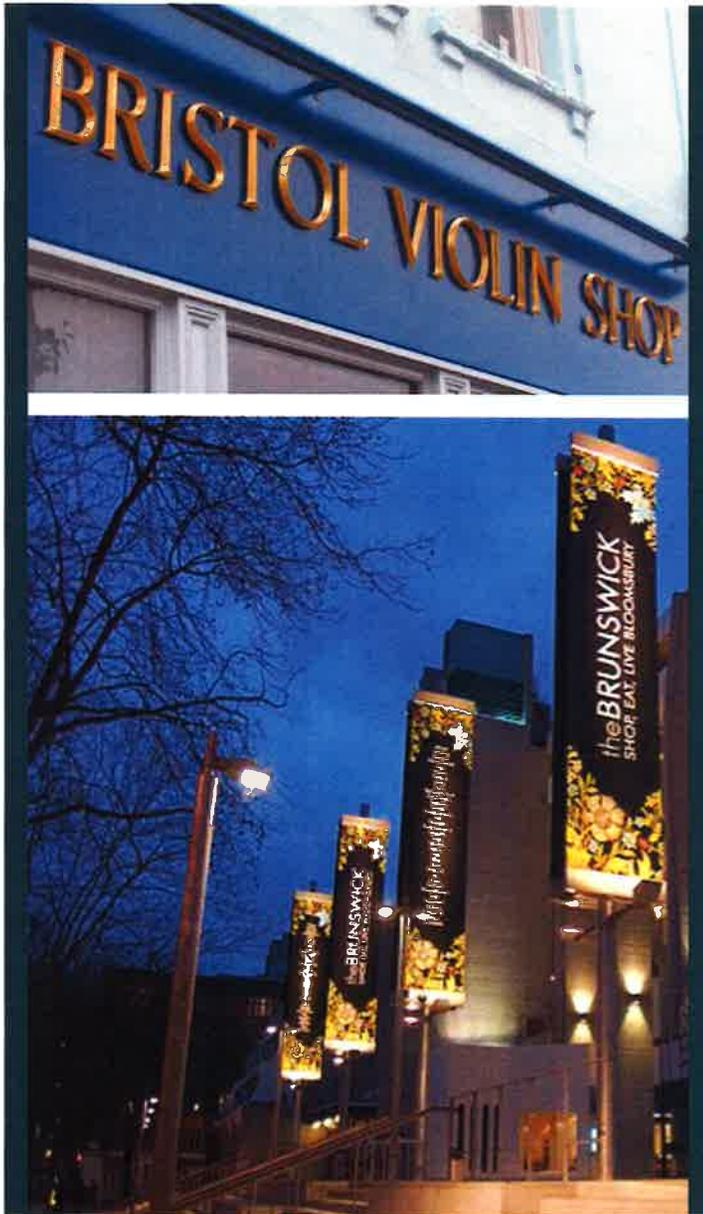
5.2 Sign Types

5.2.7 Painted or Wrapped Wall Signs

- Painted advertisements or company logos on fixed walls are permitted in Littleton Village. These signs should reflect the character of other signs and architecture of the building.
- Painted signs may only make up the greater of 10 percent or 150 square feet of a building's facade.
- Signs may only display a tenant's name or the tenant's logo.
- Painted signs cannot cover windows.
- Signs should be placed on a non-prominent side of the building, such as a building face that faces a parking lot.
- All painted signs are subject to review by the ACC.

5.2.8 Banner Signs

- Banner signs are large format style advertisements that can resemble painted signs or billboard signs.
- These signs can be used as development signage, building signage or tenant signage on a temporary basis.
- Banner signs are acceptable to cover secondary facades, parking garages and blank walls that face parking lots or streets.
- All banner signs must be of high quality, reflect the character of the surrounding architecture and signage and must be approved by the ACC.



5.0 Signage

5.3 Signage Location



Design Intent

- Identify the location and entrance of a business.
- Promote the service of merchandise within.
- Attract and inform customers.

Design Standards

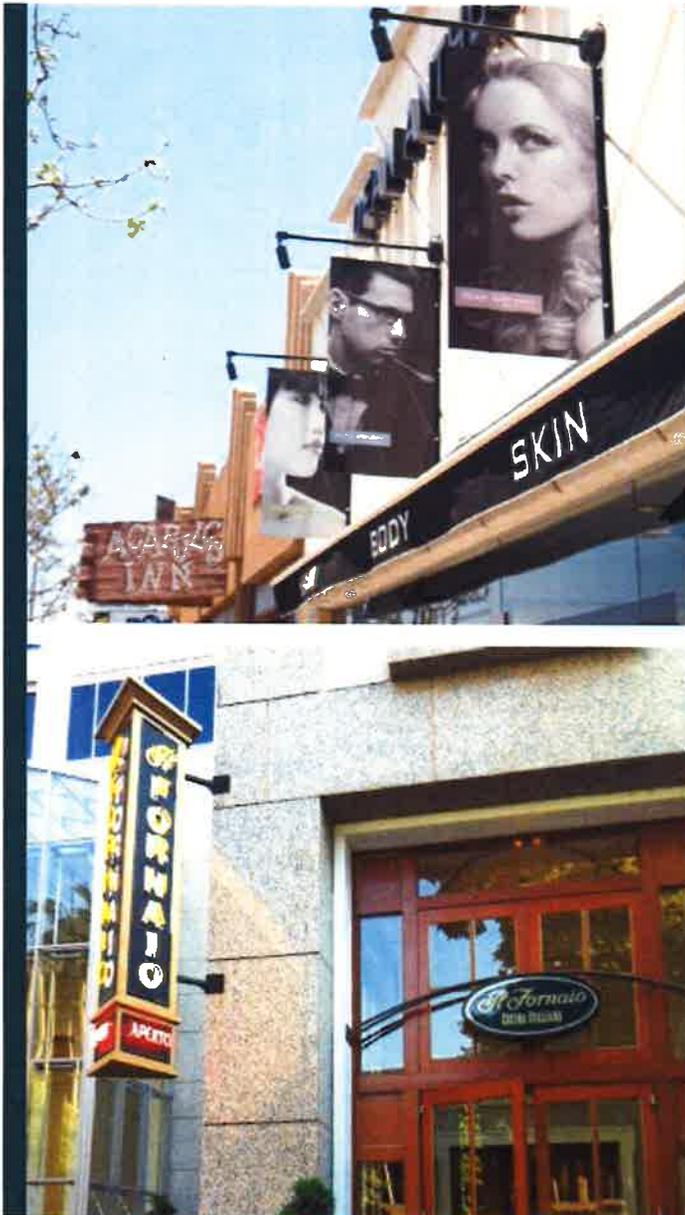
- Signs shall be positioned to be integrated into the building design and not obscure architectural details.
- Signage locations shall consider urban design elements such as street trees, pedestrian lighting and other elements.

Design Guidelines

- Buildings should be designed to provide appropriate location for signs. The signs should be an integral part of the building yet still provide a strong sense of identity for the user.
- Signs should not overlap or conceal architecture
- Signs should indicate building entries and entries to parking facilities.
- Tenant signage should typically be located only on the ground floor of buildings adjacent to the tenant location.
- Tenant signage for buildings that are multi-story may incorporate upper level signage.

5.0 Signage

5.4 Signage Materials, Quality and Design



Design Intent

- Encourage signs that fit the character of the Project and that do not detract from or overpower the architecture.
- Limit the proliferation of signs on building so as not to detract from the appearance of a well designed building.
- Encourage regular maintenance.
- Ensure signs and their materials appear "like new."
- Utilize buildings as signage.

Design Standards

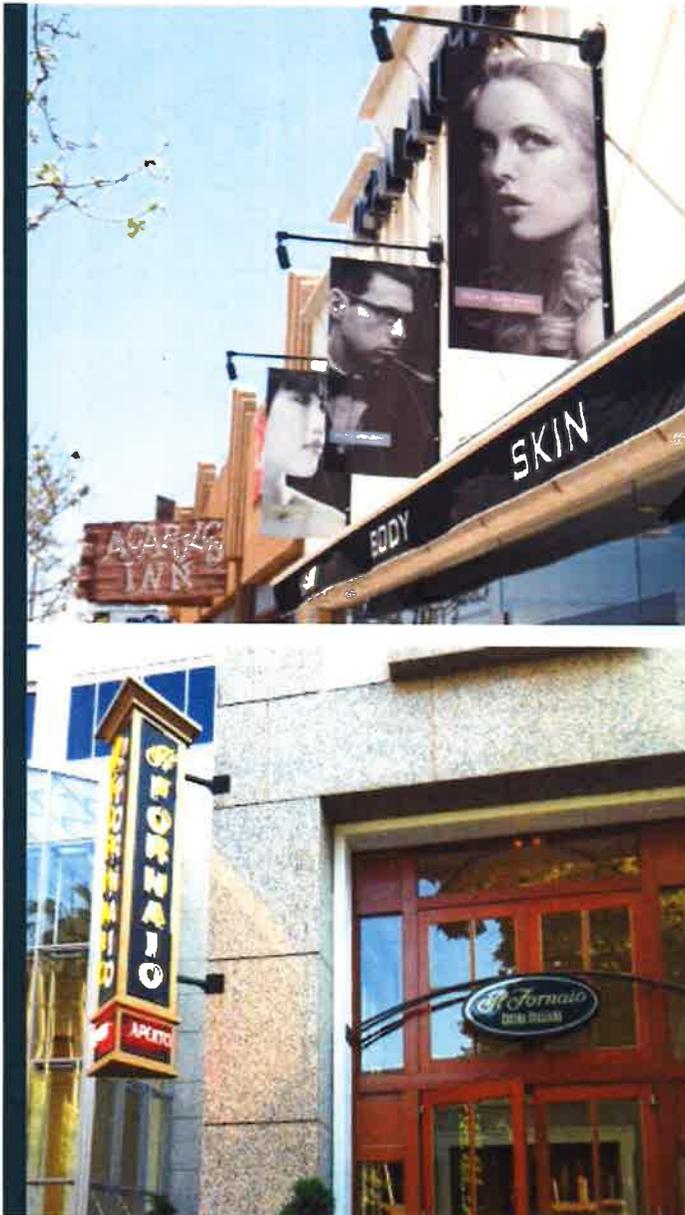
- Sign colors, materials, sizes, shapes and lighting shall be used to complement the other elements of the façade.
- Structure, materials, detailing and power sources shall be designed with consideration of signage installation requirements and shall be readily adaptable and repairable as tenants sign needs change.
- Signs located on commercial buildings shall fit within existing features of the building's façade.

Design Guidelines

- Signs should be designed to help establish the buildings character by using graphic themes which complement the overall building design.
- Sign character that is expressive of the individual tenants and overall Project identity is encouraged.
- Distinctive materials that exhibit craftsmanship and which contribute to individual business' identity should be used.
- Simple straight forward shapes that communicate clearly should be used.
- Signs as symbols are encouraged because they are easily read and add to the vitality of a storefront.
- Sign materials should be high quality, durable and easy to maintain.
- Letter styles should be legible. Simple well-proportioned typefaces are preferred.
- Signs should be recognizable as part of the Project without being overwhelming or over themed.

5.0 Signage

5.4 Signage Materials, Quality and Design



Design Intent

- Encourage signs that fit the character of the Project and that do not detract from or overpower the architecture.
- Limit the proliferation of signs on building so as not to detract from the appearance of a well designed building.
- Encourage regular maintenance.
- Ensure signs and their materials appear “like new.”
- Utilize buildings as signage.

Design Standards

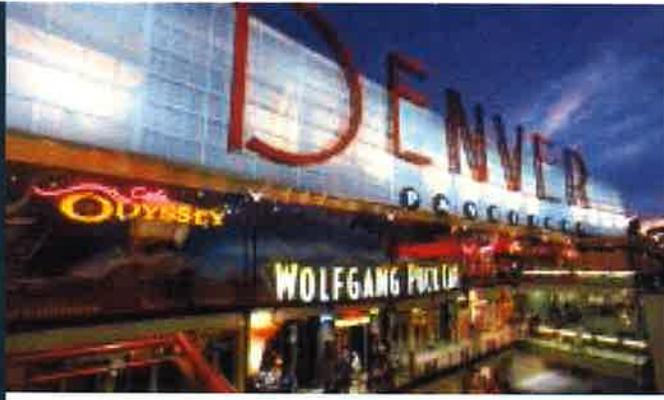
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5.0 Signage

5.5 Signage Lighting



Design Intent

- Provide adequate lighting of signs for legibility and orientation.
- Encourage lighting that enhances the character of the Project.
- Encourage minimal energy consumption.

Design Standards

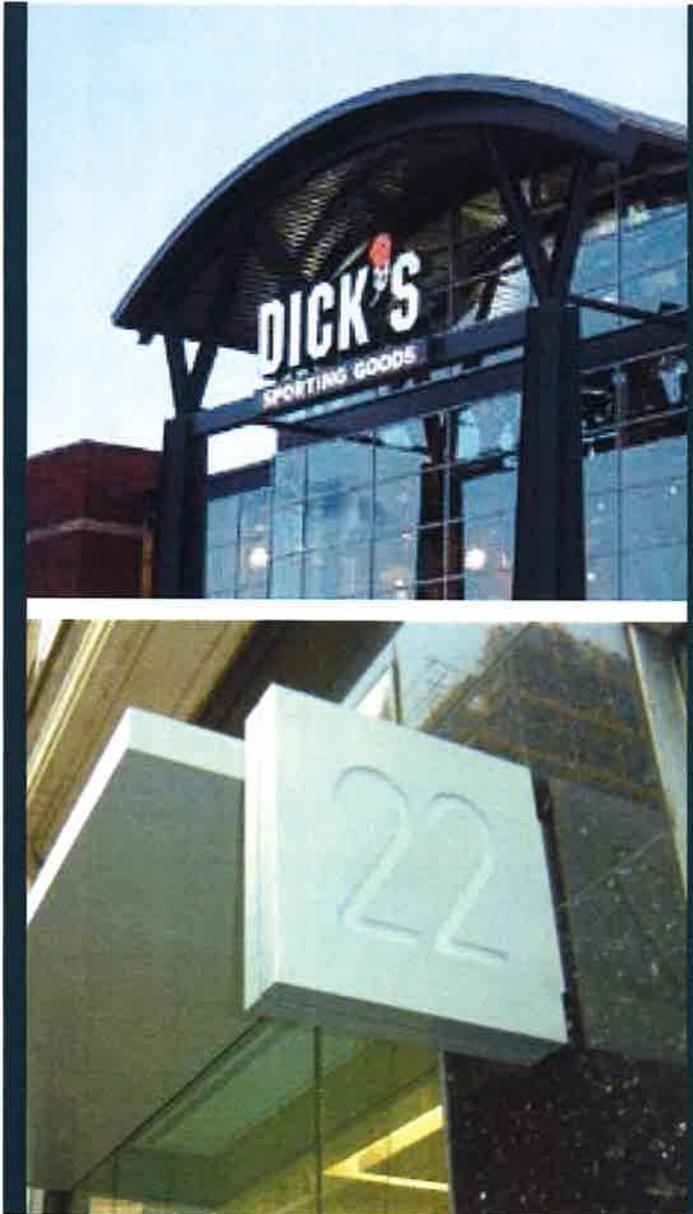
- Moving lighting on signs is prohibited.
- Orientation of any illuminated sign or light source shall be directed or shielded to reduce light trespass and glare.
- Indirect back lit and external lighting sources shall be the preferred lighting option where lighting is desired.
- Locations for illuminated signage shall be oriented to the public right-of-way or private streets.

Design Guidelines

- Illuminate external to the sign surface with lighting directed at the sign is preferred.
- Light levels should not overpower other signs on the street or same façade.
- Illuminated signs should have top to prevent light escaping upwards.
- Power sources, raceways and conduit should be concealed to minimize their visual impact.
- Lighting sources for signage should be compatible with building lighting.

5.0 Signage

5.3 Signage Location



Design Intent

- Identify the location and entrance of a business.
- Promote the service of merchandise within.
- Attract and inform customers.

Design Standards

- Signs shall be positioned to be integrated into the building design and not obscure architectural details.
- Signage locations shall consider urban design elements such as street trees, pedestrian lighting and other elements.

Design Guidelines

- Buildings should be designed to provide appropriate location for signs. The signs should be an integral part of the building yet still provide a strong sense of identity for the user.
- Signs should not overlap or conceal architecture
- Signs should indicate building entries and entries to parking facilities.
- Tenant signage should typically be located only on the ground floor of buildings adjacent to the tenant location.
- Tenant signage for buildings that are multi-story may incorporate upper level signage.

6.0 Contact

6.1 Contact Information

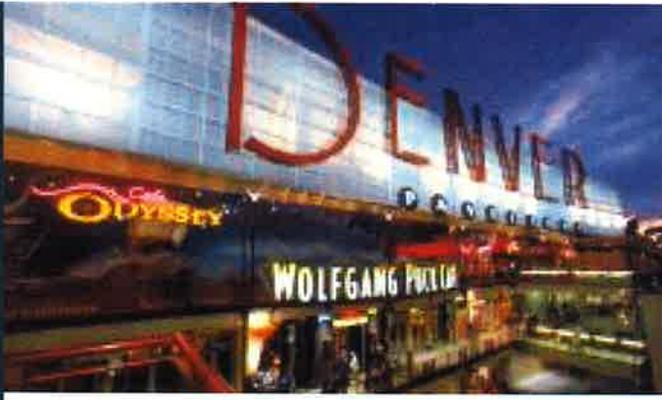


Michael Downes
Managing Director
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2716 Ocean Park Blvd.
Suite 2025
Santa Monica, CA 90405
T : 310.314.2430



5.0 Signage

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Community Development
2255 West Berry Avenue
Littleton, Colorado 80120
303-795-3748
Fax 303-795-3856

January 14, 2015

Michael Downes
Managing Director – Investment management
WIP Littleton Village LLC
2716 Ocean Park Boulevard, Suite 2025
Santa Monica, California 90405

RE: Littleton Village Design Standards and Guidelines

Dear Michael,

This letter is to confirm that the city has approved the Littleton Village Design Standards and Guidelines reflecting the final round of revisions submitted to the city on January 9, 2015.

Sincerely,

A handwritten signature in black ink, appearing to read "Andrea Mimnaugh".

Andrea Mimnaugh, AICP
Senior Planner

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