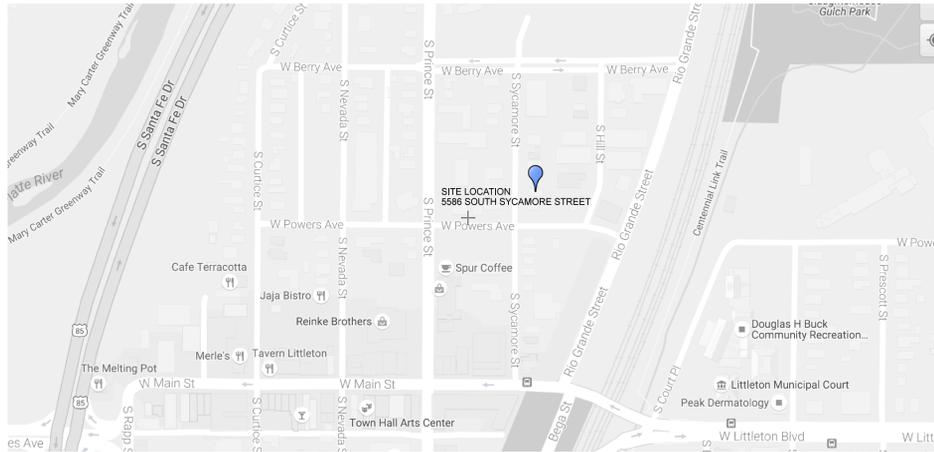


**SOUTH SYCAMORE STREET DUPLEX
PLANNED DEVELOPMENT OVERLAY
LOT 19 EXCEPT THE EAST 6' FOR ALLEY, BLOCK 26, STATE ADDITION TO LITTLETON
SECTION 16, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH PM
CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO
0.137 ACRES
CASE NUMBER: PDO16-0003
SHEET 1 OF 5**



PURPOSE OF PLANNED DEVELOPMENT OVERLAY (PDO) TO REDUCE THE FRONT SETBACK REQUIREMENT FROM 18.5 FEET TO 10 FEET.

MINERAL ESTATE OWNERS:

I certify that the owners or lessees of the mineral estate underlying this application have waived any right to notice required by C.R.S. § 24-65.5-103. The original waiver is attached here to.

Signature of owner and/or agent

Address

OWNER'S CERTIFICATION:

I, _____, Owner, or designated agent thereof, do hereby agree that the above described property will be developed in accordance with the uses, restrictions, and conditions contained in this SDP. Further, the City of Littleton is hereby granted permission to enter onto said property for the purposes of conducting inspections to establish compliance of the development of the property with on-site improvements including, but not limited to, landscaping, drainage facilities, parking areas, and trash enclosures. If upon inspection the City finds deficiencies in the on-site improvements and, after proper notice, the developer shall take appropriate corrective action. Failure to take such corrective action specified by the City shall be grounds for the City to apply any or all of any required financial assurance to cause the deficiencies to be into compliance with this SDP, or with any subsequent amendments hereto.

Signature
Subscribed and sworn to before me by _____ on this _____ day of _____, 20____.

Witness my hand and official seal.
My commission expires _____.

Notary Public

PUBLIC WORKS APPROVAL:

Approved this _____ day of _____, 20____, by the Director of Public Works.

Director of Public Works

Recording Certification:
This document was filed for records in the office of the County Clerk
And Recorder of County at M, on the day of A.D. 20____, in Book _____,
Page _____, Map _____, Reception Number _____.

County Clerk and Recorder
By: _____
Deputy

COMMUNITY DEVELOPMENT APPROVAL:

Approved this _____ day of _____, 2016, by the Director of Community Development.

Director of Community Development

ZONING REQUIREMENTS USE(S)	EXISTING ZONE DIST. CA CENTRAL MULTIPLE USE	PROPOSED PDO CA CENTRAL MULTIPLE USE
MIN UNOBSTRUCTED OPEN SPACE	10.00% PER LOT	10.00% PER LOT
PARKING RATIOS	2 PER UNIT	2 PER UNIT
MIN BLDG SETBACKS	0' SETBACK IN CA; 18.5' PREDOMINANT FRONT SETBACK (10-4-11A)2	10.0' FRONT
MAX. BUILDING HEIGHT	3 STORIES OR 40.0'	3 STORIES OR 40.0'
MAX. DENSITY	75 UNITS PER ACRE	ACTUAL - 14.62 UNITS PER ACRE

ZONING ANALYSIS:

SITE AREA	5,950 S.F. TOTAL - 2,975 S.F. EACH LOT
ZONE DISTRICT	CENTRAL AREA MULTIPLE USE DISTRICT
USE	TWO-FAMILY
PRIMARY STREET	SOUTH SYCAMORE STREET

CA CENTRAL AREA MULTIPLE USE DISTRICT. THE CA CENTRAL AREA MULTIPLE USE DISTRICT DEFINES THE DOWNTOWN BUSINESS DISTRICT OF THE CITY AND PROMOTES A MIX OF RESIDENTIAL, RETAIL, SERVICE, OFFICE, AMUSEMENTS, AND ASSOCIATED COMMERCIAL AND BUSINESS USES.

FORM STANDARDS	REQUIRED / ALLOWED	PROPOSED PDO
MAX BUILDING HEIGHT	40'-0" OR 3 STORIES	40'-0" OR 3 STORIES
LOT SIZE	3,250 S.F.	2,975 S.F. EACH LOT
SETBACKS		
FRONT	PREDOMINANT FRONT SETBACK 18.5'	10'-0"
REAR	0'-0"	0'-0"
SIDE	0'-0"	0'-0"
ADJACENT LAND USE	ADJACENT ZONING	
NORTH: COMMERCIAL	NORTH: CA CENTRAL MULTIPLE USE	
SOUTH: RESIDENTIAL	SOUTH: CA CENTRAL MULTIPLE USE	
EAST: COMMERCIAL	EAST: CA CENTRAL MULTIPLE USE	
WEST: COMMERCIAL	WEST: CA CENTRAL MULTIPLE USE	

DESIGN STANDARDS AND GUIDELINES

(LITTLETON DOWNTOWN DESIGN STANDARDS AND GUIDELINES, SUBAREA 2)

URBAN DESIGN / SITE PLAN

BUILDING AND USE ORIENTATION
- EACH UNIT'S ENTRANCE FACES THE PRIMARY STREET, SYCAMORE STREET. THE UNITS WILL BE PLACED 15'-0" BACK FROM THE FRONT PROPERTY LINE GIVING AMPLE FRONT YARD SPACE WHILE STILL FITTING IN WITH IT'S NEIGHBORING CONTEXT.

PEDESTRIAN AND VEHICLE ACCESS
- WE HAVE PROPOSED DEFINED FRONT ENTRANCES FROM THE PRIMARY STREET. THESE ENTRANCES ARE DEFINED BUT NOT ONLY THE FRONT DOOR, BUT HAVE OVERHEAD COVER AND ARCHITECTURAL FEATURES THAT DRAW ONE'S EYE TO THESE ENTRY POINTS.

PARKING AREA / GARAGE LOCATIONS
- 2 PARKING SPACES IN GARAGES ARE PROVIDED PER UNIT. ALLEY ACCESS HAS BEEN PROBABLY GIVEN WITHIN SPECIFIED TURNING RADII'S AS PROPOSED.
- OFF STREET PARKING IS LIKELY ALSO. WE HAVE CLEARLY IDENTIFIED ENTRANCES AS REQUIRED IF SO.

SERVICE AREAS, TRASH ENCLOSURES, UTILITY AND MECHANICAL EQUIPMENT LOCATIONS
- TRASH STORAGE SHALL BE IN SEPARATE TRASH CAN CONTAINERS AND STORED WITHIN INDIVIDUAL GARAGE UNITS. TRASH CANS WILL BE PLACED IN ALLEY BETWEEN OVERHEAD GARAGE DOORS 24 HOURS BEFORE LOCAL TRASH PICK-UP.
- SATELLITE AND ANTENNAS SHALL BE LOCATED TO NOT BE SEEN FROM SYCAMORE STREET.
- UTILITY AND MECHANICAL EQUIPMENT SHOULD BE LOCATED PER UTILITY PLAN AND GUIDELINES AS PROPOSED BY CITY OF LITTLETON.

ARCHITECTURE

BUILDING SCALE, FORM, MASSING AND CHARACTER
- THE BUILDING FORM HOLDS TRUE TO LOCAL MASSING AND BUILDING ELEMENTS.
- WE ALLOWED OUR SCALE AND MASSING TO BREATHE VISUALLY FROM THE STREET WITH AN ADEQUATE FRONT SETBACK.
- WE HAVE PROVIDED A TRADITIONAL FRONT PORCH COVER TO CREATE A MORE INVITING AND INTIMATE APPROACH TO EACH UNIT

BUILDING MATERIALS
- EXTERIOR WALL MATERIALS INCLUDE STUCCO, STONE VENEER, WOOD OR HARDIE BOARD LAP SIDING, AND STEEL HANDRAILS.
- WINDOW SYSTEMS WILL MOST LIKELY BE ALUMINUM CLAD OR VINYL FINISH.
- INTERIOR FINISHES WILL BE OF TRADITIONAL FINISHES IN NATURE WITH MODERN FUNCTIONS.

BUILDING LIGHTING
- BUILDING LIGHTING WILL MATCH IN CHARACTER TO THE MASSING AND OVERALL MATERIAL CHOICES AS DESCRIBED BEFORE.
- ALL FIXTURES TO MEET LIGHTING CODES AND PHOTOMETRIC REQUIREMENTS.
- FLOOD LIGHTING SHOULD BE AVOIDED.

LANDSCAPE ARCHITECTURE

OPEN SPACE ON PRIVATE PROPERTY
- WHERE SPACE PERMITS, PLANTINGS IN CONTAINERS, RAISED BEDS OR CUTOUTS IN THE PAVEMENTS IS ENCOURAGED.

PARKING AREAS
- ADEQUATE SHADING SHOULD BE PROVIDED ALONG STREET PARKING WHEN APPLICABLE.
- ADEQUATE LIGHTING SHOULD ALSO BE PROVIDED FROM PARKING AREAS TO UNIT ENTRANCES. THE COLOR OF THESE LIGHTS SHOULD MATCH EXISTING STREET LIGHTS CLOSELY.
- STEPS AND/OR RAMPS SHOULD BE LIT ACCORDINGLY.

PAVING MATERIALS
- SPECIAL PAVING SHOULD BE SELECTED FOR STRUCTURAL CAPABILITY AND DURABILITY IN THE LOCAL CLIMATE.
- SPECIAL PATTERNS AND APPLICATIONS SHOULD BE USED TO SHOWCASE PATHWAYS SUCH AS ENTRIES AND WALKS.
- CONCRETE AND ASPHALT DRIVES SHOULD BE NO LESS THAN 4" THICK FROM ALLEY. CONCRETE WALKS AND PATHWAYS SHOULD BE NO LESS THAN 4" THICK ALSO.

LANDSCAPING MATERIALS, XERISCAPING, IRRIGATION AND MAINTENANCE
- THE PRACTICE OF XERISCAPING, WHICH IS LANDSCAPING TO CONSERVE WATER WITHOUT THE LOSS OF AESTHETIC APPEAL IS STRONGLY ENCOURAGED.
- THE SIZE, QUANTITY AND SPACING OF PLANTS SHOULD BE APPROPRIATE FOR THE LOCATION IN THE INITIAL AND PROJECTED APPEARANCE AT MAJORITY.
- PLANT MATERIALS SHOULD BE ORGANIZED INTO ZONES WITH SIMILAR NEEDS OF WATER AND SUNLIGHT OR ANY OTHER CLIMATE CONDITIONS.
- WATER SHOULD BE APPLIED TO MATCH THE EXISTING SEASONAL CURVE AND DAYTIME EVAPO-TRANSFORMATION CURVE. MORE IN SUMMER AND LESS IN SPRING AND FALL.

STANDARD CONCRETE REPLACEMENT NOTE

PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY THE CURB, GUTTER, AND SIDEWALK ADJACENT TO THE PROPERTY WILL BE CLEANED BY CONTRACTOR FOR INSPECTION BY THE LITTLETON ENGINEERING DIVISION. ANY DAMAGED OR DISPLACED CONCRETE AREAS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AS DIRECTED BY THE LITTLETON ENGINEERING INSPECTOR PRIOR TO APPROVAL OF THE CERTIFICATE OF OCCUPANCY.

PRIOR TO MOBILIZING FOR DEMOLITION OF THE EXISTING STRUCTURES ON THE SITE, THE DEVELOPER SHALL MEET WITH THE LITTLETON ENGINEERING INSPECTOR TO DOCUMENT THE "BEFORE" CONDITION OF THE ADJACENT ALLEY. THE ALLEY SHALL BE INSPECTED AGAIN PRIOR TO THE REQUESTING A CERTIFICATE OF OCCUPANCY (CO). ANY DAMAGED AREAS SHALL BE REPAIRED OR REPLACED BY THE DEVELOPER PRIOR TO ISSUANCE OF THE CO.

PROJECT: #15065

PROJECT ADDRESS

SYCAMORE DUPLEX
5586 & 5588 SOUTH SYCAMORE STREET
LITTLETON, COLORADO 80120

LEGAL DESCRIPTION

LOT 19 EXCEPT THE EAST 6' FOR ALLEY, BLK. 26, STATE ADDITION TO LITTLETON LOCATED IN SECTION 16, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH PM., CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO

PROJECT DATA:

JURISDICTION: CITY OF LITTLETON
LITTLETON, COLORADO 80120
303-795-3751

BUILDING CODE: 2012 INTERNATIONAL BUILDING CODE
2012 INTERNATIONAL RESIDENTIAL CODE
2012 INTERNATIONAL MECHANICAL CODE
2014 NATIONAL ELECTRICAL CODE
2012 INTERNATIONAL PLUMBING CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE*

ZONING DISTRICT: CA-CENTRAL AREA MULTIPLE USE DISTRICT

OCCUPANCY GROUP: DUPLEX - 2 FAMILY

LOT AREA: 5,950 S.F.

OWNER:

AMY TERRY
8Z REAL ESTATE
10288 W CHATFIELD AVE SUITE 201
LITTLETON, CO 80127
(303) 882.3954
AMY.TERRY@8Z.COM

CONTRACTOR:

EMERALD GREEN BUILDING
10799 W ALAMEDA AVE #260531
LAKEWOOD, CO 80226
(303) 515.1855
CONTACT: KIERAN KEALEY

ARCHITECTURAL DESIGNER:

MOD ARCHITECTURE + DESIGN
1250 SIMMS STREET UNIT 103
LAKEWOOD, CO 80401
(816)509.1769

CONTACT: NICK YOUNG

STRUCTURAL ENGINEER:

STALHEIM ENGINEERS
8422 E OREGON PLACE
DENVER, COLORADO 80231
(303) 217-5661

CONTACT: DAVE STALHEIM, P.E.

DRAWING INDEX

1 of 5	COVER SHEET
2 of 5	ARCHITECTURAL SITE PLAN AND DETAILS
3 of 5	BUILDING ELEVATIONS
4 of 5	BUILDING ELEVATIONS
5 of 5	LANDSCAPE PLAN

**5586 & 5588 SOUTH SYCAMORE STREET
LITTLETON, COLORADO 80120**

SYCAMORE DUPLEX
5586 & 5588 SOUTH SYCAMORE STREET
LITTLETON, COLORADO 80120

1250 Simms Street Unit 103
Lakewood, Colorado 80401
P 816 509 1769
nick @ thinkingmodern.com

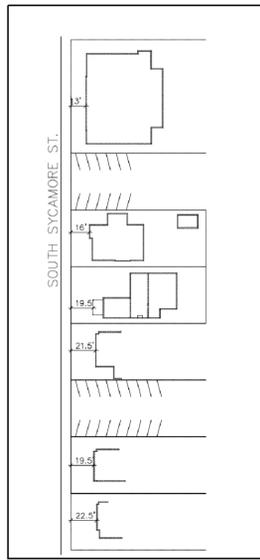
MOD
ARCHITECTURE + DESIGN



COVER SHEET

13 JULY 2016
PROJECT: 15065

1 OF 5



BUILDING COVERAGE CALCULATION:

	AREA
BUILDING FOOTPRINT	2,170 S.F.
FRONT PORCH FOOTPRINT	250 S.F.
ATTACHED GARAGE FOOTPRINT	967 S.F.
TOTAL BUILDING COVERAGE:	3,387 S.F.

UNOBSTRUCTED SPACE REQUIREMENT

CA ZONE DISTRICT = 10% MIN. UNOBSTRUCTED OPEN SPACE	
TOTAL UNOBSTRUCTED SPACE:	1,858 S.F.
ZONE LOT SIZE:	5,950 S.F.

UNOBSTRUCTED OPEN SPACE 31.2% OR 15.61% PER LOT
 *SEE UNOBSTRUCTED SPACE DIAGRAM FOR DETAILS

IMPERVIOUS SURFACE CALCULATIONS

TOTAL IMPERVIOUS SURFACE:	4,625 S.F.
ZONE LOT SIZE:	5,950 S.F.

IMPERVIOUS SURFACE 77.7%
 *SEE IMPERVIOUS SURFACE DIAGRAM FOR DETAILS

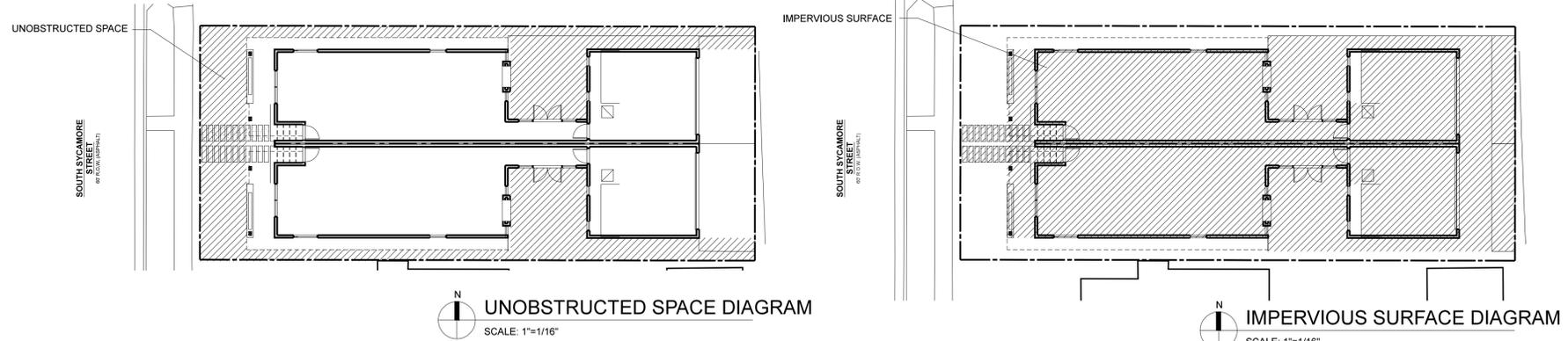
PARKING CALCULATIONS

PARKING REQUIRED: 2 SPACES PER UNIT (2 UNITS) = 4 SPACES
 PARKING PROVIDED: 4 SPACES

SETBACK CALCULATIONS

MEAN SETBACK: 18.5'
 PREDOMINANT FRONT SETBACK: 18.5'
 PROPOSED SETBACK: 10.0'

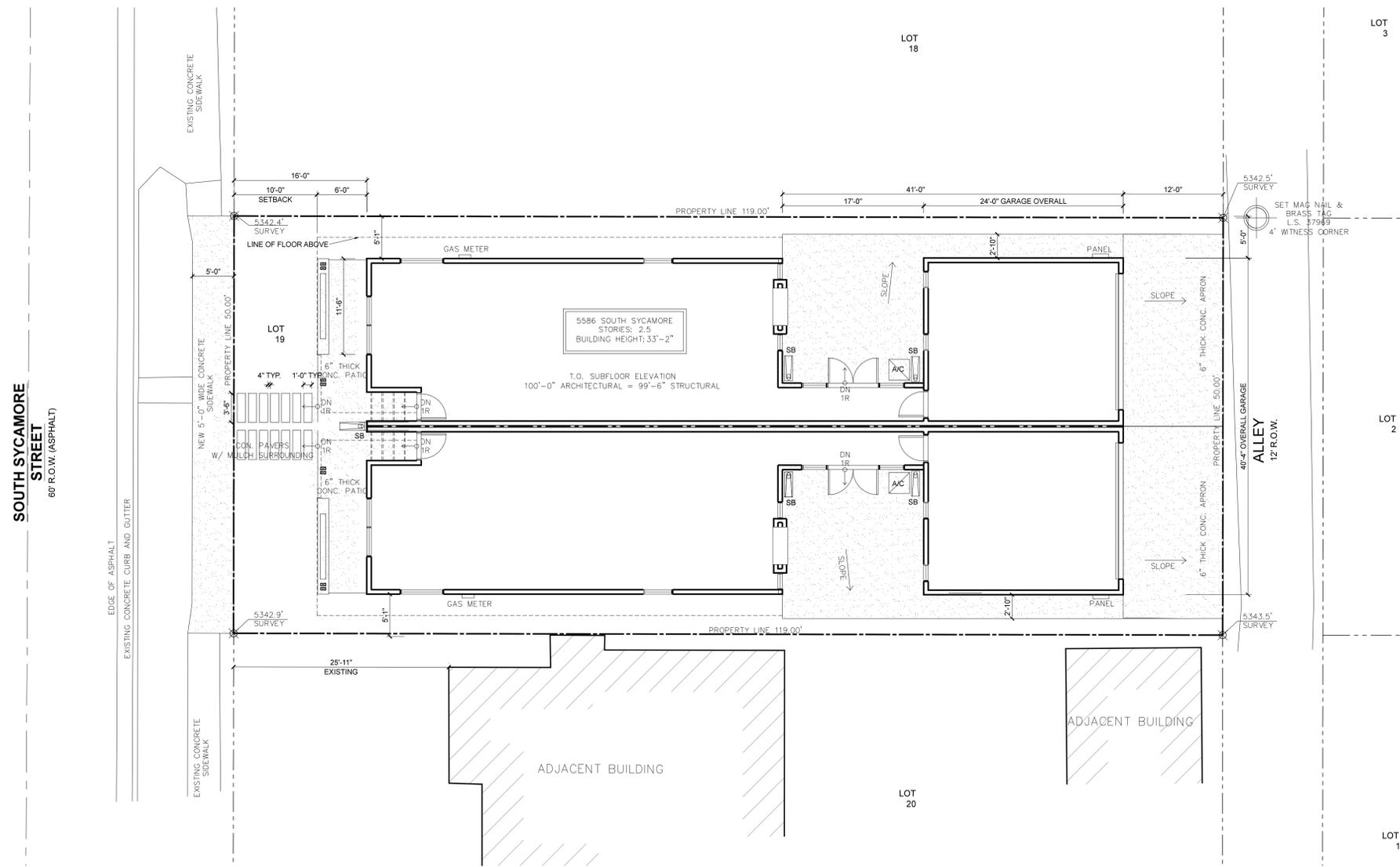
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 SHEET 2 OF 5**



GENERAL NOTES:

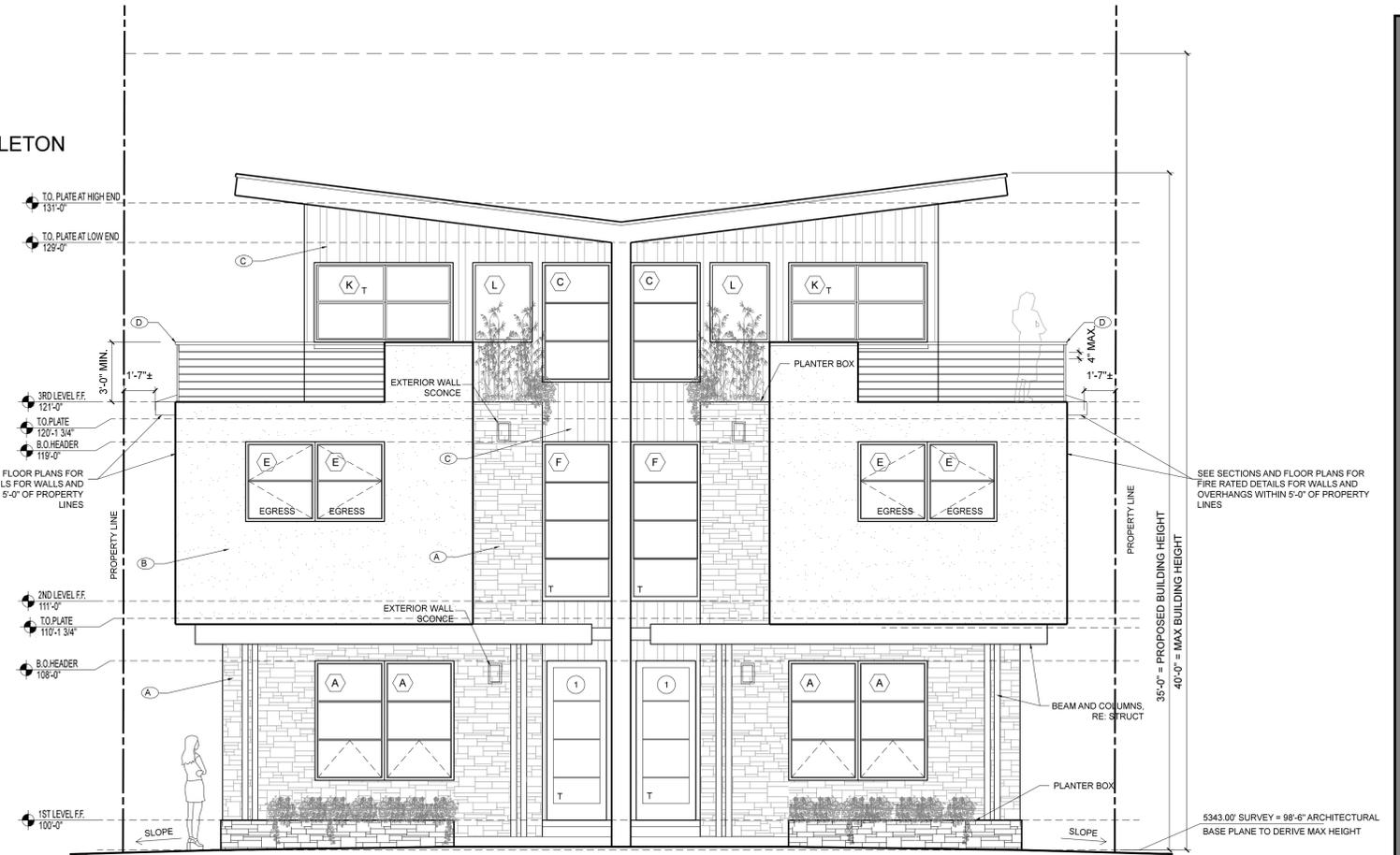
- AT THE TIME THE EXISTING HOUSE IS DEMOLISHED, THE SANITARY SEWER SERVICE SHALL BE EXCAVATED AT THE MAIN IN THE ALLEY AND PLUGGED WITH AN INSPECTION BY THE LITTLETON ENGINEERING DIVISION PRIOR TO BACKFILL. A SEPARATE RIGHT-OF-WAY PERMIT MUST BE OBTAINED FROM THE LITTLETON PERMIT CENTER BY A CONTRACTOR BONDED TO WORK IN LITTLETON PRIOR TO PERFORMING THIS SEWER CUTOFF WORK IN THE ALLEY.
- ALL UTILITIES TO THE SITE TO BE INSTALLED UNDERGROUND, TYPICAL.

STANDARD CONCRETE REPLACEMENT NOTE
 PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY THE CURB, GUTTER, AND SIDEWALK ADJACENT TO THE PROPERTY WILL BE CLEANED BY CONTRACTOR FOR INSPECTION BY THE LITTLETON ENGINEERING DIVISION. ANY DAMAGED OR DISPLACED CONCRETE AREAS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AS DIRECTED BY THE LITTLETON ENGINEERING INSPECTOR PRIOR TO APPROVAL OF THE CERTIFICATE OF OCCUPANCY.

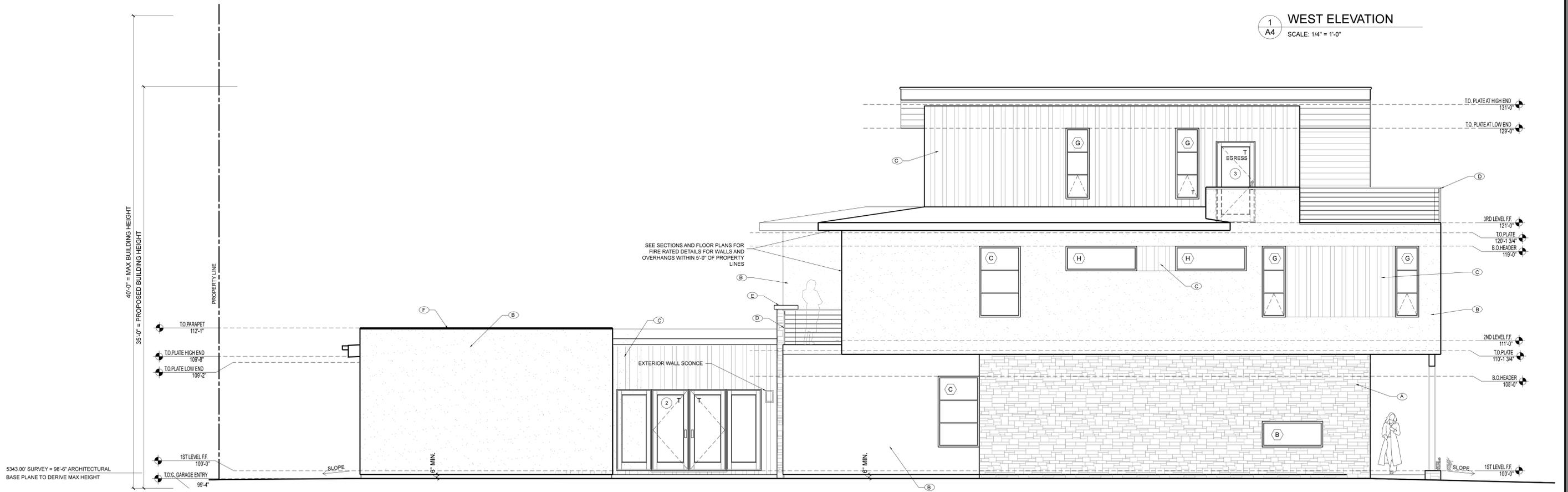


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 SHEET 3 OF 5

MATERIAL LEGEND	
(A)	MATERIAL: STONE VENEER - ELDORADO STONE STYLE: WEATHER EDGE COLOR: NAPA VALLEY
(B)	MATERIAL: 3-COAT CEMENT STUCCO COLOR: SHERWIN-WILLIAMS - PURE WHITE SW 7005
(C)	MATERIAL: 1x4 SHIP LAP VERTICAL WOOD SIDING FINISH: NATURAL STAIN - CEDAR
(D)	MATERIAL: STEEL HANDRAIL FINISH: POWDER COATED COLOR: DARK GRAY
(E)	MATERIAL: STONE CAP TYPE: ELDORADO STONE COLOR: BUCKSKIN
(F)	MATERIAL: ALUMINUM CAP FLASHING FINISH: PREFINISHED COLOR: NATURAL



1 WEST ELEVATION
 A4 SCALE: 1/4" = 1'-0"



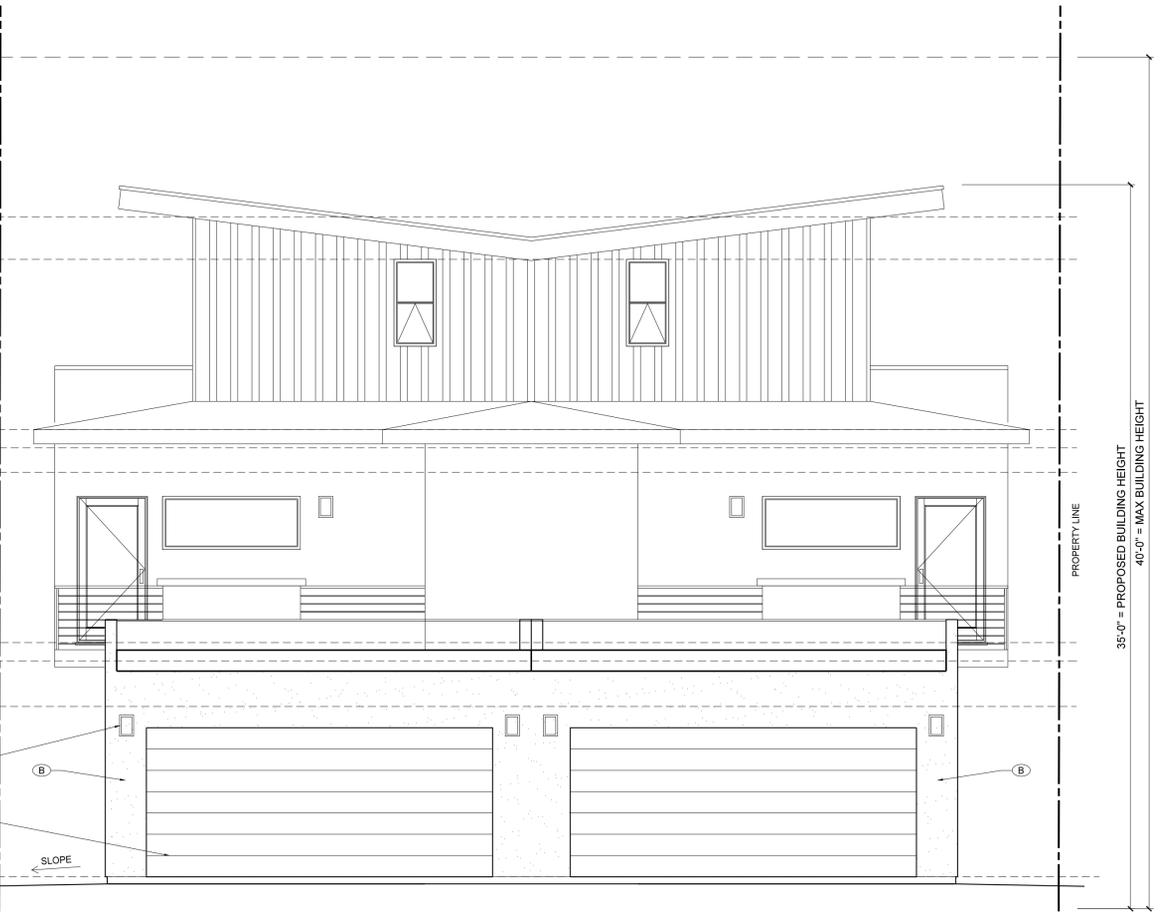
2 NORTH ELEVATION
 A4 SCALE: 1/4" = 1'-0"



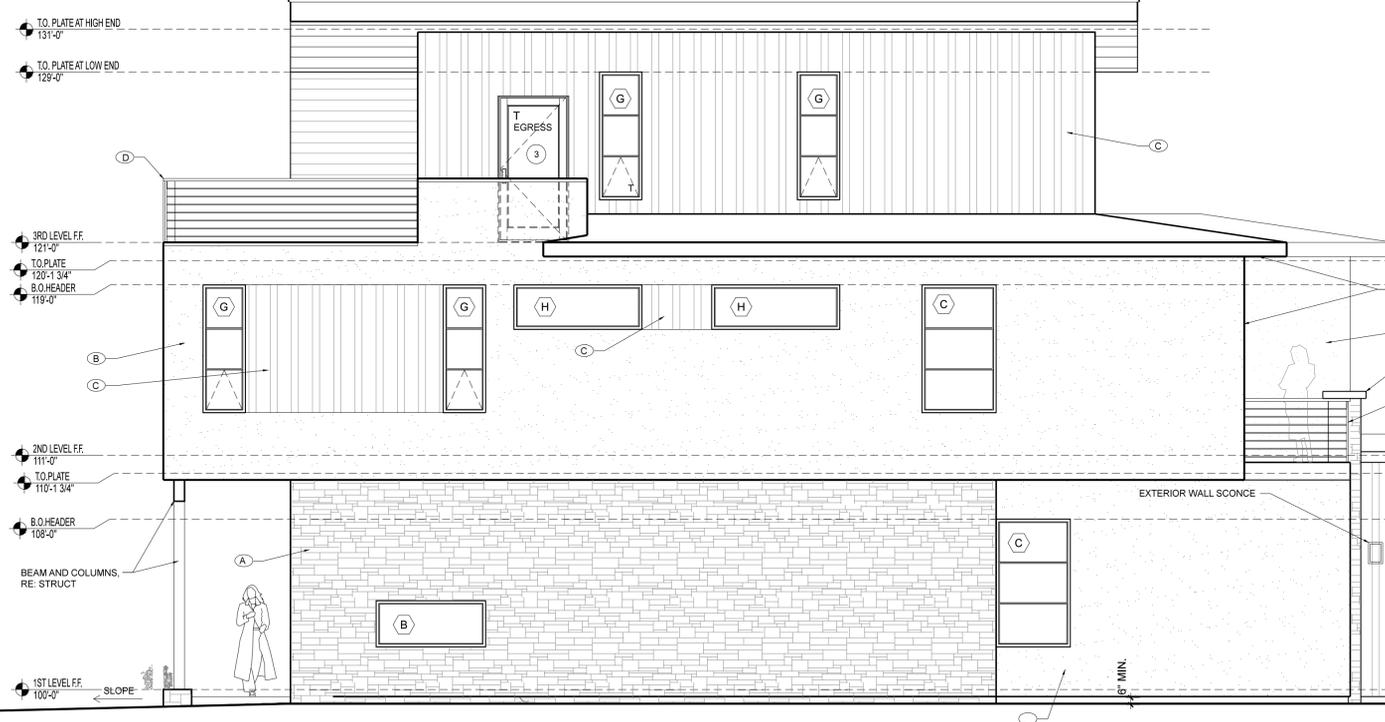
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 SHEET 4 OF 5

MATERIAL LEGEND	
(A)	MATERIAL: STONE VENEER - ELDORADO STONE STYLE: WEATHER EDGE COLOR: NAPA VALLEY
(B)	MATERIAL: 3-COAT CEMENT STUCCO COLOR: SHERWIN-WILLIAMS - PURE WHITE SW 7005
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(E)	MATERIAL: STONE CAP TYPE: ELDORADO STONE COLOR: BUCKSKIN
(F)	MATERIAL: ALUMINUM CAP FLASHING FINISH: PREFINISHED COLOR: NATURAL

TO PLATE AT HIGH END 131'-0"
 TO PLATE AT LOW END 128'-0"
 3RD LEVEL FF. 121'-0"
 TO PLATE 120'-1 3/4"
 B.O. HEADER 119'-0"
 2ND LEVEL FF. 111'-0"
 TO PLATE 110'-1 3/4"
 B.O. HEADER 108'-0"
 EXTERIOR WALL SCONCE
 HARDI-BOARD OVERHEAD DOOR
 1ST LEVEL FF. 100'-0"
 PROPERTY LINE
 SLOPE



1 WEST ELEVATION
 A4 SCALE: 1/4" = 1'-0"



SEE SECTIONS AND FLOOR PLANS FOR FIRE RATED DETAILS FOR WALLS AND OVERHANGS WITHIN 5'-0" OF PROPERTY LINES

2 NORTH ELEVATION
 A4 SCALE: 1/4" = 1'-0"

